

TABLE 1: AREA TABLE FOR BLOCK NCC RES BUILDING

FLOOR	Area (sqm)	Area (sqft)	Area (sqm)	Area (sqft)	Area (sqm)	Area (sqft)
1st	1000	10764	1000	10764	1000	10764
2nd	1000	10764	1000	10764	1000	10764
3rd	1000	10764	1000	10764	1000	10764
4th	1000	10764	1000	10764	1000	10764
5th	1000	10764	1000	10764	1000	10764
6th	1000	10764	1000	10764	1000	10764
7th	1000	10764	1000	10764	1000	10764
8th	1000	10764	1000	10764	1000	10764
9th	1000	10764	1000	10764	1000	10764
10th	1000	10764	1000	10764	1000	10764
11th	1000	10764	1000	10764	1000	10764
12th	1000	10764	1000	10764	1000	10764
13th	1000	10764	1000	10764	1000	10764
14th	1000	10764	1000	10764	1000	10764
15th	1000	10764	1000	10764	1000	10764
16th	1000	10764	1000	10764	1000	10764
17th	1000	10764	1000	10764	1000	10764
18th	1000	10764	1000	10764	1000	10764
19th	1000	10764	1000	10764	1000	10764
20th	1000	10764	1000	10764	1000	10764
21st	1000	10764	1000	10764	1000	10764
22nd	1000	10764	1000	10764	1000	10764
23rd	1000	10764	1000	10764	1000	10764
24th	1000	10764	1000	10764	1000	10764
25th	1000	10764	1000	10764	1000	10764
26th	1000	10764	1000	10764	1000	10764
27th	1000	10764	1000	10764	1000	10764
28th	1000	10764	1000	10764	1000	10764
29th	1000	10764	1000	10764	1000	10764
30th	1000	10764	1000	10764	1000	10764
31st	1000	10764	1000	10764	1000	10764
32nd	1000	10764	1000	10764	1000	10764
33rd	1000	10764	1000	10764	1000	10764
34th	1000	10764	1000	10764	1000	10764
35th	1000	10764	1000	10764	1000	10764
36th	1000	10764	1000	10764	1000	10764
37th	1000	10764	1000	10764	1000	10764
38th	1000	10764	1000	10764	1000	10764
39th	1000	10764	1000	10764	1000	10764
40th	1000	10764	1000	10764	1000	10764
41st	1000	10764	1000	10764	1000	10764
42nd	1000	10764	1000	10764	1000	10764
43rd	1000	10764	1000	10764	1000	10764
44th	1000	10764	1000	10764	1000	10764
45th	1000	10764	1000	10764	1000	10764
46th	1000	10764	1000	10764	1000	10764
47th	1000	10764	1000	10764	1000	10764
48th	1000	10764	1000	10764	1000	10764
49th	1000	10764	1000	10764	1000	10764
50th	1000	10764	1000	10764	1000	10764
51st	1000	10764	1000	10764	1000	10764
52nd	1000	10764	1000	10764	1000	10764
53rd	1000	10764	1000	10764	1000	10764
54th	1000	10764	1000	10764	1000	10764
55th	1000	10764	1000	10764	1000	10764
56th	1000	10764	1000	10764	1000	10764
57th	1000	10764	1000	10764	1000	10764
58th	1000	10764	1000	10764	1000	10764
59th	1000	10764	1000	10764	1000	10764
60th	1000	10764	1000	10764	1000	10764
61st	1000	10764	1000	10764	1000	10764
62nd	1000	10764	1000	10764	1000	10764
63rd	1000	10764	1000	10764	1000	10764
64th	1000	10764	1000	10764	1000	10764
65th	1000	10764	1000	10764	1000	10764
66th	1000	10764	1000	10764	1000	10764
67th	1000	10764	1000	10764	1000	10764
68th	1000	10764	1000	10764	1000	10764
69th	1000	10764	1000	10764	1000	10764
70th	1000	10764	1000	10764	1000	10764
71st	1000	10764	1000	10764	1000	10764
72nd	1000	10764	1000	10764	1000	10764
73rd	1000	10764	1000	10764	1000	10764
74th	1000	10764	1000	10764	1000	10764
75th	1000	10764	1000	10764	1000	10764
76th	1000	10764	1000	10764	1000	10764
77th	1000	10764	1000	10764	1000	10764
78th	1000	10764	1000	10764	1000	10764
79th	1000	10764	1000	10764	1000	10764
80th	1000	10764	1000	10764	1000	10764
81st	1000	10764	1000	10764	1000	10764
82nd	1000	10764	1000	10764	1000	10764
83rd	1000	10764	1000	10764	1000	10764
84th	1000	10764	1000	10764	1000	10764
85th	1000	10764	1000	10764	1000	10764
86th	1000	10764	1000	10764	1000	10764
87th	1000	10764	1000	10764	1000	10764
88th	1000	10764	1000	10764	1000	10764
89th	1000	10764	1000	10764	1000	10764
90th	1000	10764	1000	10764	1000	10764
91st	1000	10764	1000	10764	1000	10764
92nd	1000	10764	1000	10764	1000	10764
93rd	1000	10764	1000	10764	1000	10764
94th	1000	10764	1000	10764	1000	10764
95th	1000	10764	1000	10764	1000	10764
96th	1000	10764	1000	10764	1000	10764
97th	1000	10764	1000	10764	1000	10764
98th	1000	10764	1000	10764	1000	10764
99th	1000	10764	1000	10764	1000	10764
100th	1000	10764	1000	10764	1000	10764

Approval Condition:
This Plan Section is issued subject to the following conditions and additional conditions mentioned in the Building License.

1. Section 1 approved for the Residential Building plan as per By No. 33, 14, 35, 363 & 42 (Amend) (Village Development).
2. Section 2 approved for Residential use only. The use of the building shall not be deviated to any other use.
3. 2000 Sq. M area reserved for car parking shall not be converted for any other purpose.
4. License and approved plans shall be posted in conspicuous place of the licensor premises. The building license and the copies of approved plans with specifications shall be available on a frame and displayed and they shall be made available during inspections.
5. On completion of foundation or during before erection of walls on the foundation and in the case of column structure before erecting the columns "COMMEMORATIVE CERTIFICATE" shall be obtained for the site above 371 Spm.
6. Construction or reconstruction of the building should be completed before the expiry of five years from the date of issue of license & within one month after its completion shall apply for permission to occupy the building.
7. Necessary ducts for running telephone cables, cables at ground level for postal services & space for storage garage within the premises shall be provided.
8. The applicant shall construct temporary toilets for the use of construction workers and it should be demolished after the construction.
9. The applicant shall include all workers involved in the construction work against any accident / contract incidents being arising during the course of construction.
10. The applicant shall not stock any building materials / debris on footpaths or on roads or on drains. The debris shall be removed and transported to nearby dumping place.
11. The applicant / builder is prohibited from selling the building units / open spaces and the common facilities areas, which shall be accessible to all the tenants and occupants.
12. The applicant shall provide a space for locating the distribution transformers & associated equipment as per I.E.C. (S.C.) Code bearing 3.10 m. from the building within the premises.
13. The applicant shall provide a separate room previously 4.50 x 3.65 m in the basement for installation of common equipment like fire alarm provisions for fire services services as per By-law 14.
14. The applicant shall maintain during construction strict barricading as considered necessary to prevent dust, debris & other materials endangering the safety of people / structures etc. in the neighborhood of the work.
15. Permission shall be obtained from forest department / section for cutting trees before the commencement of the work.
16. Any owner / builder / contractor / contractor shall observe the rules and regulations of the Building / Engineer / Supervisor will be informed by the Authority in the first instance, wanted in the second instance and cannot file a registration / if the same is repeated in the third instance, the applicant / owner / builder / contractor shall adhere to the duties and responsibilities specified in Schedule 4B (1) (By-law No. 3) under sub-section 4 (b) (ii).
17. The building shall be constructed under the supervision of a registered structural engineer.
18. The building should not be occupied without "OCCUPANCY CERTIFICATE" from the concerned authority.
19. The applicant shall ensure that the Rain Water Harvesting Structure are provided & maintain in good condition for storage of water for non-potable purposes & recharge of ground water at all times having a minimum tank capacity mentioned in this By-law.
20. The building shall be designed and constructed according to the norms prescribed in National Building Code and in the "Criteria for earthquake resistant design of structures" bearing No. IS 10131:2009 published by the Bureau of Indian Standards making the building resistant to earthquake.
21. Building levels to be designed by a registered structural engineer. Based on S.C. water table and other criteria foundation and building shall be designed to ensure structural stability. The responsibility of ensuring structural stability lies on the owner / builder and the structural engineer.
22. The applicant shall provide side water tanks as per table 17 of by-law No. 26 for the building.
23. Facilities for physically handicapped persons prescribed in schedule XI (By-law No. 31) of Building By-law 2003 and Government orders time to time shall be ensured.
24. The applicant shall provide one common toilet in the ground floor for the use of the visitors / tenants / drivers and security men and also ensure that be approached through a ramp for the physically handicapped persons together with the stipulated area.
25. The applicant shall ensure that no inconvenience is caused to the neighbours in the vicinity of construction and that the construction activities shall be before 10:30 PM and not resume the work earlier than 7:00 AM to avoid nuisance during late hours and early morning hours.
26. The applicant shall ensure that no inconvenience is caused to the neighbours in the vicinity of construction and that the construction activities shall be before 10:30 PM and not resume the work earlier than 7:00 AM to avoid nuisance during late hours and early morning hours.
27. Garbage originating from Apartments / Commercial buildings shall be segregated into organic and inorganic waste and should be processed in the Recycling processing unit installed as per the rule / By-law / Applicable for Residential units of 20 and above and 2000 Sqm and above building (as per Commercial Building).
28. The structures with basements shall be designed for structural stability and safety to ensure for soil settlements during the course of excavation for basements with safe design for retaining walls and super structure for the stability of the structure on soil and neighbouring property, public roads and footpaths and besides ensuring safety of workers and general public by erecting safe barricades.
29. The vehicle parking shall be provided as per the building plan.
30. The Owner / Association of the high-rise building shall conduct fire drill twice in the building at least once in the summer and another during the summer and ensure complete safety in respect of fire hazards.
31. A communication shall be provided for setting of schedule for inspecting children to the children of construction workers in the labour camps / construction area.
32. List of children of workers shall be furnished by the builder/contractor to the Labour Department which is mandatory.
33. Employment of child labour in the construction activities strictly prohibited.
34. Obvious NCC from the Labour Department before commencing the construction work is a must.

31 The Builder / Contractor / Professional responsible for supervision of work shall not materially and substantially deviate the construction from the sanctioned plan, without prior approval of the authority. They shall advise the owner about the cost involved in construction of the provisions of the Act, Rules, By-laws, Zoning Regulations, Standing Orders and Policy Orders of the BDDP.

32 The Construction or reconstruction of building shall be commenced within a period of 02 (Two) years from the date of issue of license. Before the expiry of two years, the Owner / Developer shall give intimation to BDDP (Sanctioning Authority) of the intention to start work as per the form prescribed in Schedule IV. Further, the Owner / Developer shall give intimation on completion of the foundation or laying of walls / columns of the foundation. Otherwise the plan sanction deemed to be cancelled.

33 The Applicant shall follow the instruction of BDDPS specified in the DO under No. BDDSP/19/2019-20, Dated: 24-09-2019 regarding utilization of treated water for all construction activities for lot or area more than 2000 Sq.m.

34 The Applicant / Owner / Developer shall abide by the collection of solid waste and its segregation as per solid waste management by-law 2016.

35 The Applicant / Owner / Developer shall make necessary provision to charge electrical vehicles.

36 The Applicant / Owner / Developer shall plant trees for every 200 Sq.m of FAR area as part thereof in case of Apartment / group housing / multi dwelling development plan and at least Two Trees for single unit.

37 The Applicant / Owner / Developer shall abide by the Rules and Regulations of Karnataka Energy Conservation Building Code (KECCB) 2018.

38 If the Applicant / Owner / Developer deviate building construction against the sanction plan of the building license.

39 The Applicant / Owner / Architect should also adhere to the special conditions imposed in the Building License.

40 The Applicant / Owner / Architect should adhere by the conditions imposed by the planning authority and in the NCC issued from various departments whenever applicable.

41 BDDP will not be responsible for any delays that may arise in respect of progress in question-42 in case of the documents submitted in respect of progress in question-42. The sanctioned plan stands cancelled as per the legal provisions and suitable legal action will be initiated.

42 The Applicant / Owner / Builder shall register the project / Real Estate Regulatory Authority (RERA) compulsorily before obtaining Commencement certificate in case of Residential projects having 5 or more units.

43 The permission is issued based on information submitted by the applicant. The authority is not responsible for pending or court cases in any court of law.

44 The permission is issued based on information submitted by the applicant. The cannot be considered for changing the ownership of the property.

45 Owner / Builder / Contractor / Developer shall take all precautionary measures to ensure the safety of construction workers involved in the construction activities.

46 Due to non-compliance of safety precautionary measures or due to any other reason if loss of life or injury or permanent disability occurred or property or damage caused to public or private property, BDDP will not be responsible for such loss. Owner / Builder / Contractor / Developer shall hold the responsibility for such damages or loss of life or permanent disability. Special Condition as per Labour Department of Government of Karnataka with ACDEMUM (Prevention) Volume Number No. 12556 (2013), dated: 01-08-2013.

47 Any part of the site / Applicant / Builder / Owner / Contractor shall engage a construction worker in his site or work place who is not registered with the Karnataka Building and Other Construction workers Welfare Board.

48 The permission is issued based on information submitted by the applicant. The cannot be considered for changing the ownership of the property.

49 Owner / Builder / Contractor / Developer shall take all precautionary measures to ensure the safety of construction workers involved in the construction activities.

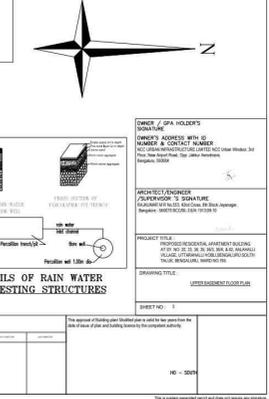
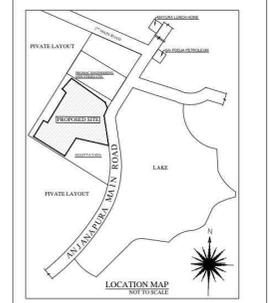
50 Due to non-compliance of safety precautionary measures or due to any other reason if loss of life or injury or permanent disability occurred or property or damage caused to public or private property, BDDP will not be responsible for such loss. Owner / Builder / Contractor / Developer shall hold the responsibility for such damages or loss of life or permanent disability. Special Condition as per Labour Department of Government of Karnataka with ACDEMUM (Prevention) Volume Number No. 12556 (2013), dated: 01-08-2013.

51 Any part of the site / Applicant / Builder / Owner / Contractor shall engage a construction worker in his site or work place who is not registered with the Karnataka Building and Other Construction workers Welfare Board.

Colour Index

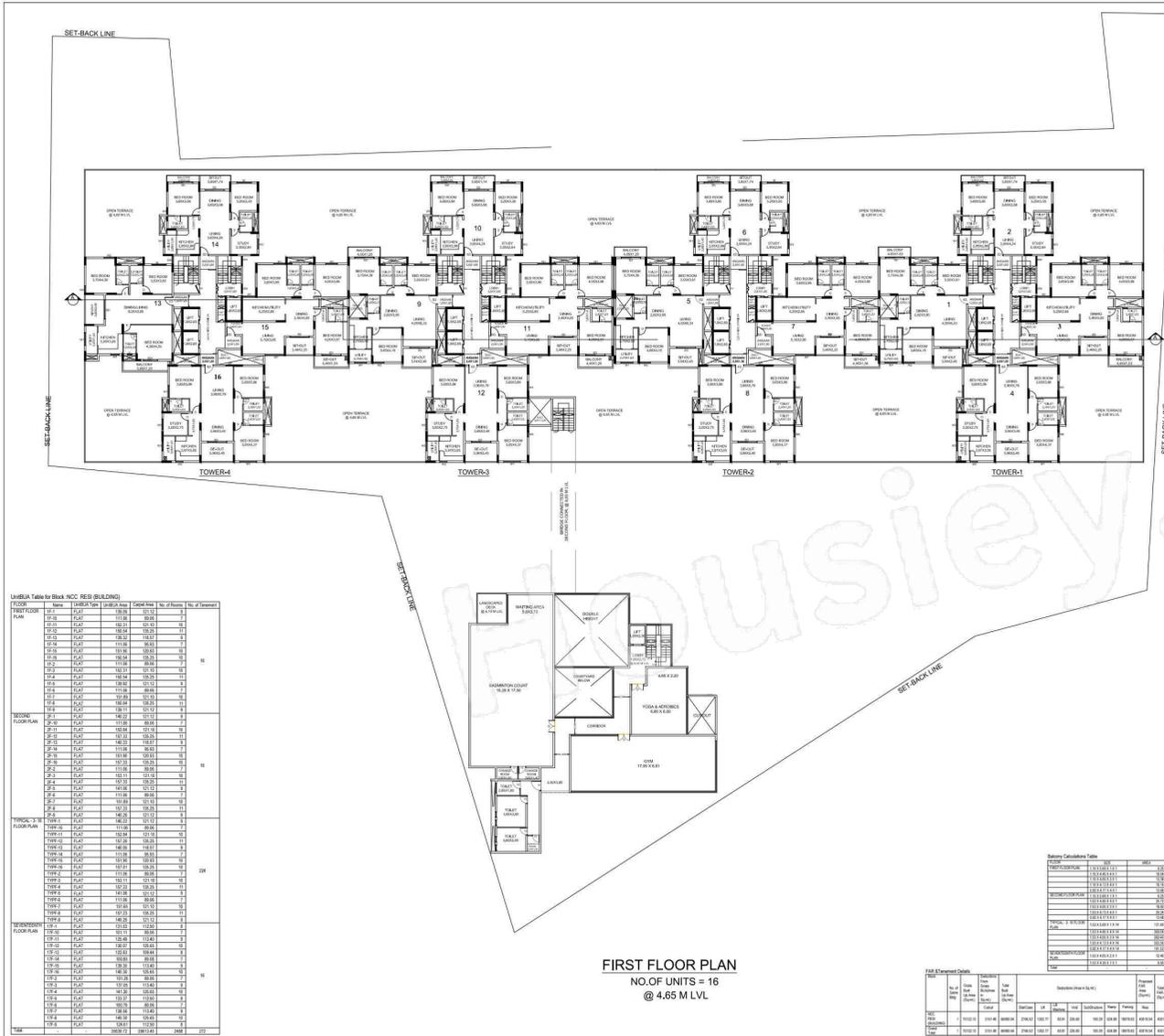
COLOUR INDEX	DESCRIPTION
Red	Proposed New Construction Area
Green	Existing Green Area
Blue	Water Body
Yellow	Proposed Road
Purple	Proposed Utility

Scale: 1:2000



ENERGY CALCULATION TABLE

Sl. No.	Room	Area (sqm)	Volume (cu m)	Heat Capacity (kJ/K)	Thermal Mass (kJ/K)
1	Room 1	100	300	12000	12000
2	Room 2	100	300	12000	12000
3	Room 3	100	300	12000	12000
4	Room 4	100	300	12000	12000
5	Room 5	100	300	12000	12000
6	Room 6	100	300	12000	12000
7	Room 7	100	300	12000	12000
8	Room 8	100	300	12000	12000
9	Room 9	100	300	12000	12000
10	Room 10	100	300	12000	12000
11	Room 11	100	300	12000	12000
12	Room 12	100	300	12000	12000
13	Room 13	100	300	12000	12000
14	Room 14	100	300	12000	12000
15	Room 15	100	300	12000	12000
16	Room 16	100	300	12000	12000
17	Room 17	100	300	12000	12000
18	Room 18	100	300	12000	12000
19	Room 19	100	300	12000	12000
20	Room 20	100	300	12000	12000
21	Room 21	100	300	12000	12000
22	Room 22	100	300	12000	12000
23	Room 23	100	300	12000	12000
24	Room 24	100	300	12000	12000
25	Room 25	100	300	12000	12000
26	Room 26	100	300	12000	12000
27	Room 27	100	300	12000	12000
28	Room 28				



UNIT DATA Table for Block NCC RES (BUILDING)

FLOOR	Unit No.	UNIT TYPE	UNIT AREA (sqm)	NO. OF UNITS	NO. OF UNITS	NO. OF UNITS	
FIRST FLOOR	101	FLAT	108.00	101	101	101	
	102	FLAT	108.00	102	102	102	
	103	FLAT	108.00	103	103	103	
	104	FLAT	108.00	104	104	104	
	105	FLAT	108.00	105	105	105	
	106	FLAT	108.00	106	106	106	
	107	FLAT	108.00	107	107	107	
	108	FLAT	108.00	108	108	108	
	109	FLAT	108.00	109	109	109	
	110	FLAT	108.00	110	110	110	
	111	FLAT	108.00	111	111	111	
	112	FLAT	108.00	112	112	112	
	113	FLAT	108.00	113	113	113	
	114	FLAT	108.00	114	114	114	
	115	FLAT	108.00	115	115	115	
	SECOND FLOOR	201	FLAT	108.00	201	201	201
202		FLAT	108.00	202	202	202	
203		FLAT	108.00	203	203	203	
204		FLAT	108.00	204	204	204	
205		FLAT	108.00	205	205	205	
206		FLAT	108.00	206	206	206	
207		FLAT	108.00	207	207	207	
208		FLAT	108.00	208	208	208	
209		FLAT	108.00	209	209	209	
210		FLAT	108.00	210	210	210	
211		FLAT	108.00	211	211	211	
212		FLAT	108.00	212	212	212	
213		FLAT	108.00	213	213	213	
214		FLAT	108.00	214	214	214	
THIRD FLOOR		301	FLAT	108.00	301	301	301
		302	FLAT	108.00	302	302	302
	303	FLAT	108.00	303	303	303	
	304	FLAT	108.00	304	304	304	
	305	FLAT	108.00	305	305	305	
	306	FLAT	108.00	306	306	306	
	307	FLAT	108.00	307	307	307	
	308	FLAT	108.00	308	308	308	
	309	FLAT	108.00	309	309	309	
	310	FLAT	108.00	310	310	310	
	311	FLAT	108.00	311	311	311	
	312	FLAT	108.00	312	312	312	
	313	FLAT	108.00	313	313	313	
	314	FLAT	108.00	314	314	314	
	FOURTH FLOOR	401	FLAT	108.00	401	401	401
		402	FLAT	108.00	402	402	402
403		FLAT	108.00	403	403	403	
404		FLAT	108.00	404	404	404	
405		FLAT	108.00	405	405	405	
406		FLAT	108.00	406	406	406	
407		FLAT	108.00	407	407	407	
408		FLAT	108.00	408	408	408	
409		FLAT	108.00	409	409	409	
410		FLAT	108.00	410	410	410	
411		FLAT	108.00	411	411	411	
412		FLAT	108.00	412	412	412	
413		FLAT	108.00	413	413	413	
414		FLAT	108.00	414	414	414	

FIRST FLOOR PLAN
NO. OF UNITS = 16
@ 4.65 M LVL

- Approval Condition:**
This Plan Section is issued subject to the following conditions and additional conditions mentioned in the Building Licence.
1. Section 4 is approved for the Residential Building plan as per By-Law 33, 34, 35, 36B, 36C & 42 (Amend) (Village Development).
 2. Section 4 is approved for Residential use only. The use of the building shall not be deviated to any other use.
 3. 2000 sqm reserved for car parking shall not be converted for any other purpose.
 4. Lobbies and approved plans shall be posted in conspicuous places of the licensed premises. The building licence and the copies of approved plans with specifications shall be available on a frame and displayed and they shall be made available during inspections.
 5. On completion of foundation or piling before erection of walls on the foundation and in the case of column structure before erecting the columns 'COMMEMORATION CERTIFICATE' shall be obtained by the site above 271 Sign.
 6. Construction or reconstruction of the building shall be completed before the expiry of five years from the date of issue of license & within one month after its completion shall apply for permission to occupy the building.
 7. Necessary ducts for running telephone cables, cables for ground level for postal services and space for storage garages within the premises shall be provided.
 8. The applicant shall construct temporary hoists for the use of construction workers and it should be demolished after the construction.
 9. The applicant shall procure all workers involved in the construction work against any accident / contract incidents arising during the term of construction.
 10. The applicant shall not stack any building materials / debris on footpaths or on roads or on drains. The debris shall be removed and transported to nearby dumping yard.
 11. The applicant / builder is prohibited from selling the building units / open spaces and the common facility areas, which shall be accessible to all the tenants and occupants.
 12. The applicant shall provide a space for locating the distribution transformers & associated equipment as per I.E.C.C. (S) Code having 3.00 m from the building within the premises.
 13. The applicant shall provide a separate room previously 4.50 x 3.00 m in the basement for installation of fire alarm equipment & fire alarm panel for fire alarm services as per Fire bye-law.
 14. The applicant shall maintain adequate safety barricading as considered necessary to prevent access, direct & other materials endangering the safety of people / structures etc. in the construction area of the work.
 15. Permission shall be obtained from forest department / section for cutting trees before the commencement of the work.
 16. If any owner / builder consents the provisions of Building Bye-laws and rules & franchise, the Applicant / Supervisor will be informed by the Authority in the first instance, written in the second instance and cannot file a registration. If the same is repeated in the third instance, the applicant / owner or the contractor shall strictly adhere to the duties and responsibilities specified in Schedule 4B (Bye-law No. 3) under sub-section 4(b) of (b) (ii).
 18. The building shall be constructed under the supervision of a registered structural engineer.
 19. The building should not be occupied without obtaining 'OCCUPANCY CERTIFICATE' from the competent authority.
 20. The applicant shall ensure that Rain Water Harvesting Structure are provided & maintain in good condition the storage of water for agricultural purposes or irrigation of ground water at all times having a minimum tank capacity mentioned in the By-Law.
 21. The building shall be designed and constructed according to the norms prescribed in National Building Code and in the 'Criteria for earthquake resistant design of structures' bearing IS: 1013:2009 published by the Bureau of Indian Standards making the building resistant to earthquake loading level to be designed by a registered structural engineer. Storage of 'Oil', water tanks and other critical structures and building shall be designed to ensure structural stability. The responsibility of engineering structural stability lies on the owner / builder and the structural engineer.
 22. The applicant should provide rain water basins as per table 17 of Bye-law No. 26 for the building.
 24. Facilities for physically handicapped persons prescribed in schedule XI (Bye-law 46) (3) of Building Bye-law 2003 and Government orders time to time shall be ensured.
 25. The applicant shall provide at least one common toilet in the ground floor for the use of the visitors / tenants / drivers and security men and also ensure that the physically handicapped persons together with the disabled apply for approached through a ramp for.
 26. The applicant shall ensure that no inconvenience is caused to the neighbours in the vicinity of construction and that the construction activities shall stop before 10:30 PM and resume the work earlier than 7:00 AM to avoid nuisance during late hours and early morning hours.
 27. Garbage originating from Apartments / Commercial buildings shall be segregated into organic and inorganic waste and should be processed in the Recycling processing unit installed as per the rule / Appoval (Applicable for Residential units of 20 and above and 2000 Sqm and above building areas for Commercial buildings).
 28. The structures with basements shall be designed for structural stability and safety to ensure for soil subsidence during the course of excavation for basements with safe design for retaining walls and support structure for the stability of the structure as well as neighbouring property, public roads and footpaths and basins ensuring safety of workers and general public by erecting safe barricades.
 29. Two-wheeler parking shall be provided as per the building bye-law.
 30. The Owner / Association of the high-rise building shall conduct two 'rock 40' tests in the building area before the onset of summer and another during the summer and ensure complete safety in respect of fire hazards.
 31. Accommodation shall be provided for setting up of schools for imparting education to the children of construction workers in the labour camps / construction area.
 32. List of children of workers shall be forwarded by the builder/contractor to the Labour Department which is mandatory.
 33. Employment of child labour in the construction activities strictly prohibited.
 4. Obtaining NCC from the Labour Department before commencing the construction work is a must.

Block NCC RES (BUILDING)

Block	Area (sqm)	Volume (cu m)	Height (m)	Number of Units	Number of Units	Number of Units
Block 1	10800	108000	10.00	108	108	108
Block 2	10800	108000	10.00	108	108	108
Block 3	10800	108000	10.00	108	108	108
Block 4	10800	108000	10.00	108	108	108
Block 5	10800	108000	10.00	108	108	108
Block 6	10800	108000	10.00	108	108	108
Block 7	10800	108000	10.00	108	108	108
Block 8	10800	108000	10.00	108	108	108
Block 9	10800	108000	10.00	108	108	108
Block 10	10800	108000	10.00	108	108	108
Block 11	10800	108000	10.00	108	108	108
Block 12	10800	108000	10.00	108	108	108
Block 13	10800	108000	10.00	108	108	108
Block 14	10800	108000	10.00	108	108	108
Block 15	10800	108000	10.00	108	108	108
Block 16	10800	108000	10.00	108	108	108
Block 17	10800	108000	10.00	108	108	108
Block 18	10800	108000	10.00	108	108	108
Block 19	10800	108000	10.00	108	108	108
Block 20	10800	108000	10.00	108	108	108
Block 21	10800	108000	10.00	108	108	108
Block 22	10800	108000	10.00	108	108	108
Block 23	10800	108000	10.00	108	108	108
Block 24	10800	108000	10.00	108	108	108
Block 25	10800	108000	10.00	108	108	108
Block 26	10800	108000	10.00	108	108	108
Block 27	10800	108000	10.00	108	108	108
Block 28	10800	108000	10.00	108	108	108
Block 29	10800	108000	10.00	108	108	108
Block 30	10800	108000	10.00	108	108	108
Block 31	10800	108000	10.00	108	108	108
Block 32	10800	108000	10.00	108	108	108
Block 33	10800	108000	10.00	108	108	108
Block 34	10800	108000	10.00	108	108	108
Block 35	10800	108000	10.00	108	108	108
Block 36	10800	108000	10.00	108	108	108
Block 37	10800	108000	10.00	108	108	108
Block 38	10800	108000	10.00	108	108	108
Block 39	10800	108000	10.00	108	108	108
Block 40	10800	108000	10.00	108	108	108
Block 41	10800	108000	10.00	108	108	108
Block 42	10800	108000	10.00	108	108	108
Block 43	10800	108000	10.00	108	108	108
Block 44	10800	108000	10.00	108	108	108
Block 45	10800	108000	10.00	108	108	108
Block 46	10800	108000	10.00	108	108	108
Block 47	10800	108000	10.00	108	108	108
Block 48	10800	108000	10.00	108	108	108
Block 49	10800	108000	10.00	108	108	108
Block 50	10800	108000	10.00	108	108	108
Block 51	10800	108000	10.00	108	108	108
Block 52	10800	108000	10.00	108	108	108
Block 53	10800	108000	10.00	108	108	108
Block 54	10800	108000	10.00	108	108	108
Block 55	10800	108000	10.00	108	108	108
Block 56	10800	108000	10.00	108	108	108
Block 57	10800	108000	10.00	108	108	108
Block 58	10800	108000	10.00	108	108	108
Block 59	10800	108000	10.00	108	108	108
Block 60	10800	108000	10.00	108	108	108
Block 61	10800	108000	10.00	108	108	108
Block 62	10800	108000	10.00	108	108	108
Block 63	10800	108000	10.00	108	108	108
Block 64	10800	108000	10.00	108	108	108
Block 65	10800	108000	10.00	108	108	108
Block 66	10800	108000	10.00	108	108	108
Block 67	10800	108000	10.00	108	108	108
Block 68	10800	108000	10.00	108	108	108
Block 69	10800	108000	10.00	108	108	108
Block 70	10800	108000	10.00	108	108	108
Block 71	10800	108000	10.00	108	108	108
Block 72	10800	108000	10.00	108	108	108
Block 73	10800	108000	10.00	108	108	108
Block 74	10800	108000	10.00	108	108	108
Block 75	10800	108000	10.00	108	108	108
Block 76	10800	108000	10.00	108	108	108
Block 77	10800	108000	10.00	108	108	108
Block 78	10800	108000	10.00	108	108	108
Block 79	10800	108000	10.00	108	108	108
Block 80	10800	108000	10.00	108	108	108
Block 81	10800	108000	10.00	108	108	108
Block 82	10800	108000	10.00	108	108	108
Block 83	10800	108000	10.00	108	108	108
Block 84	10800	108000	10.00	108	108	108
Block 85	10800	108000	10.00	108	108	108
Block 86	10800	108000	10.0			



2ND FLOOR PLAN
NO. OF UNITS = 16
@ 7.70 M LVL

UNIT NO.	AREA (SQ. M)	NO. OF UNITS	NO. OF BEDS	NO. OF BATHS
101	100.00	1	1	1
102	100.00	1	1	1
103	100.00	1	1	1
104	100.00	1	1	1
105	100.00	1	1	1
106	100.00	1	1	1
107	100.00	1	1	1
108	100.00	1	1	1
109	100.00	1	1	1
110	100.00	1	1	1
111	100.00	1	1	1
112	100.00	1	1	1
113	100.00	1	1	1
114	100.00	1	1	1
115	100.00	1	1	1
116	100.00	1	1	1
117	100.00	1	1	1
118	100.00	1	1	1
119	100.00	1	1	1
120	100.00	1	1	1
121	100.00	1	1	1
122	100.00	1	1	1
123	100.00	1	1	1
124	100.00	1	1	1
125	100.00	1	1	1
126	100.00	1	1	1
127	100.00	1	1	1
128	100.00	1	1	1
129	100.00	1	1	1
130	100.00	1	1	1
131	100.00	1	1	1
132	100.00	1	1	1
133	100.00	1	1	1
134	100.00	1	1	1
135	100.00	1	1	1
136	100.00	1	1	1
137	100.00	1	1	1
138	100.00	1	1	1
139	100.00	1	1	1
140	100.00	1	1	1
141	100.00	1	1	1
142	100.00	1	1	1
143	100.00	1	1	1
144	100.00	1	1	1
145	100.00	1	1	1
146	100.00	1	1	1
147	100.00	1	1	1
148	100.00	1	1	1
149	100.00	1	1	1
150	100.00	1	1	1
151	100.00	1	1	1
152	100.00	1	1	1
153	100.00	1	1	1
154	100.00	1	1	1
155	100.00	1	1	1
156	100.00	1	1	1
157	100.00	1	1	1
158	100.00	1	1	1
159	100.00	1	1	1
160	100.00	1	1	1
161	100.00	1	1	1
162	100.00	1	1	1
163	100.00	1	1	1
164	100.00	1	1	1
165	100.00	1	1	1
166	100.00	1	1	1
167	100.00	1	1	1
168	100.00	1	1	1
169	100.00	1	1	1
170	100.00	1	1	1
171	100.00	1	1	1
172	100.00	1	1	1
173	100.00	1	1	1
174	100.00	1	1	1
175	100.00	1	1	1
176	100.00	1	1	1
177	100.00	1	1	1
178	100.00	1	1	1
179	100.00	1	1	1
180	100.00	1	1	1
181	100.00	1	1	1
182	100.00	1	1	1
183	100.00	1	1	1
184	100.00	1	1	1
185	100.00	1	1	1
186	100.00	1	1	1
187	100.00	1	1	1
188	100.00	1	1	1
189	100.00	1	1	1
190	100.00	1	1	1
191	100.00	1	1	1
192	100.00	1	1	1
193	100.00	1	1	1
194	100.00	1	1	1
195	100.00	1	1	1
196	100.00	1	1	1
197	100.00	1	1	1
198	100.00	1	1	1
199	100.00	1	1	1
200	100.00	1	1	1

Approval Condition:
This Plan Section is subject to the following conditions and additional conditions mentioned in the Building License.

1. Section is approved for the Residential Building plan as per By-Law 32, 33, 34, 35, 36B & 37 of the Municipal Ordinance.
2. Section is approved for Residential use only. The use of the building shall not be deviated to any other use.
3. 2000 Sq. M area reserved for car parking shall not be converted for any other purpose.
4. 2000 Sq. M area reserved for car parking shall be pointed in construction plans of the licensed premises. The building scheme and the copies of structural plans with specifications shall be submitted on a frame and displayed and they shall be made available during inspections.
5. On completion of foundation or building below ground level, the applicant shall submit a copy of column structure below existing column 'COMMENCEMENT CERTIFICATE' shall obtain after the site above 371 Spm.
6. Construction or reconstruction of the building shall be completed before the expiry of five years from the date of issue of license & within one month after its completion shall apply for permission to occupy the building.
7. Necessary ducts for running telephone cables, cables for ground level post-erect systems & space for storage garages within the premises shall be provided.
8. The applicant shall construct temporary hoists for the use of construction workers and it should be demolished after the construction.
9. The applicant shall procure all workers involved in the construction work against any accident / contract incidents arising during the term of construction.
10. The applicant shall not stock any building materials / debris on footpath or on roads or on drains. The debris shall be removed and transported to nearby dumping yard.
11. The applicant / builder is prohibited from selling the building units / ground under the license facility areas, which shall be accessible to all the tenants and occupants.
12. The applicant shall provide a space for locating the distribution transformers & associated equipment as per I.C.E.C. (S) Code bearing 3.00 mts. from the building within the premises.
13. The applicant shall provide a separate room previously 4.50 x 3.00 m in the basement for installation of ground support ducts for making provision for business services as per By-Law 37.
14. The applicant shall maintain during construction safe barricading as considered necessary to prevent dust, debris & other materials endangering the safety of people / structures etc. in the vicinity of the work.
15. Permission shall be obtained from forest department for cutting trees before the commencement of the work.
16. If any owner / builder contravenes the provisions of Building By-Laws and rules & rules, the Applicant / Supervisor will be informed by the Authority in the first instance, written in the second instance and issued the notice. If the owner / builder fails to comply with the provisions of the Building By-Laws and rules & rules, the applicant / owner / builder shall adhere to the duties and responsibilities as stipulated in Schedule 'A' (By-Law No. 37) under sub-section 8 (b) (ii).
17. The building shall be constructed under the supervision of a registered structural engineer.
18. The building should not be occupied without obtaining 'OCCUPANCY CERTIFICATE' from the completed activity.
19. The applicant shall ensure that Rain Water Harvesting Structures are provided & maintain in good condition for storage of water for non-potable use or recharge of ground water at all times having a minimum tank capacity mentioned in this By-Law.
20. The building shall be designed and constructed according to the norms prescribed in National Building Code and in the 'Criteria for earthquake resistant design of structures' bearing No. IS 10130:2009 published by the Bureau of Indian Standards making the building resistant to earthquake.
21. Building lines to be designed by a registered structural engineer. Space on S.C. water tanks and other overhead tank and building shall be designed to ensure structural stability.
22. The applicant shall provide rain water harvesters as per table 17 of By-Law No. 26 of the building.
23. Facilities for physically handicapped persons prescribed in schedule XI (By-Law No. 31) of Building By-Laws 2003 and Government orders time to time shall be ensured.
24. The applicant shall provide at least one common table in the ground floor for the use of the visitors / tenants / drivers and security men and also ensure that the physically handicapped persons together with the disabled apply for approached through a ramp for the physically handicapped persons together with the disabled apply.
25. The applicant shall ensure that no inconvenience is caused to the neighbours in the vicinity of construction and that the construction activities shall stop before 10:30 PM and resume the work earlier than 7:00 AM to avoid hindrance during late hours and early morning hours.
26. The applicant shall ensure that no inconvenience is caused to the neighbours in the vicinity of construction and that the construction activities shall stop before 10:30 PM and resume the work earlier than 7:00 AM to avoid hindrance during late hours and early morning hours.
27. Garbage originating from Apartments / Commercial buildings shall be segregated into organic and inorganic waste and should be processed in the Recycling processing unit installed as per the rule / Approval (Applicable for Residential units of 20 and above and 2000 Sqm and above building for Commercial buildings).
28. The structures with basements shall be designed for structural stability and safety to ensure for soil settlements during the course of excavation for basements with safe design for retaining walls and support structure for the stability of the structure as well as neighbouring property, public roads and footpaths and besides ensuring safety of workers and general public by erecting safe barricades.
29. Two-wheel parking shall be provided as per the building plan.
30. The Owner / Association of the high-rise building shall construct two rock 'A' walls in the building area before the onset of summer and another during the summer and ensure complete safety in respect of fire hazards.
31. The Owner / Association shall be provided for setting of schedule for imparting education to the children of construction workers in the labour camp / construction area.
32. All details of workers shall be furnished by the labour contractor to the Labour Department which is mandatory.
33. Employment of child labour in the construction activities shall be prohibited.
34. Obtaining NCC from the Labour Department before commencing the construction work is a must.

Color Index

RED	CONCRETE
GREEN	ASPHALT
YELLOW	PAVING
BLUE	WATER
PINK	PLASTER
BLACK	IRON

SCALE: 1:100

LOCATION MAP

DETAILS OF RAIN WATER HARVESTING STRUCTURES

Structure No.	Area (sq. m)	Capacity (liters)	Remarks
1	10.00	10000	For Tower-1
2	10.00	10000	For Tower-2
3	10.00	10000	For Tower-3
4	10.00	10000	For Tower-4

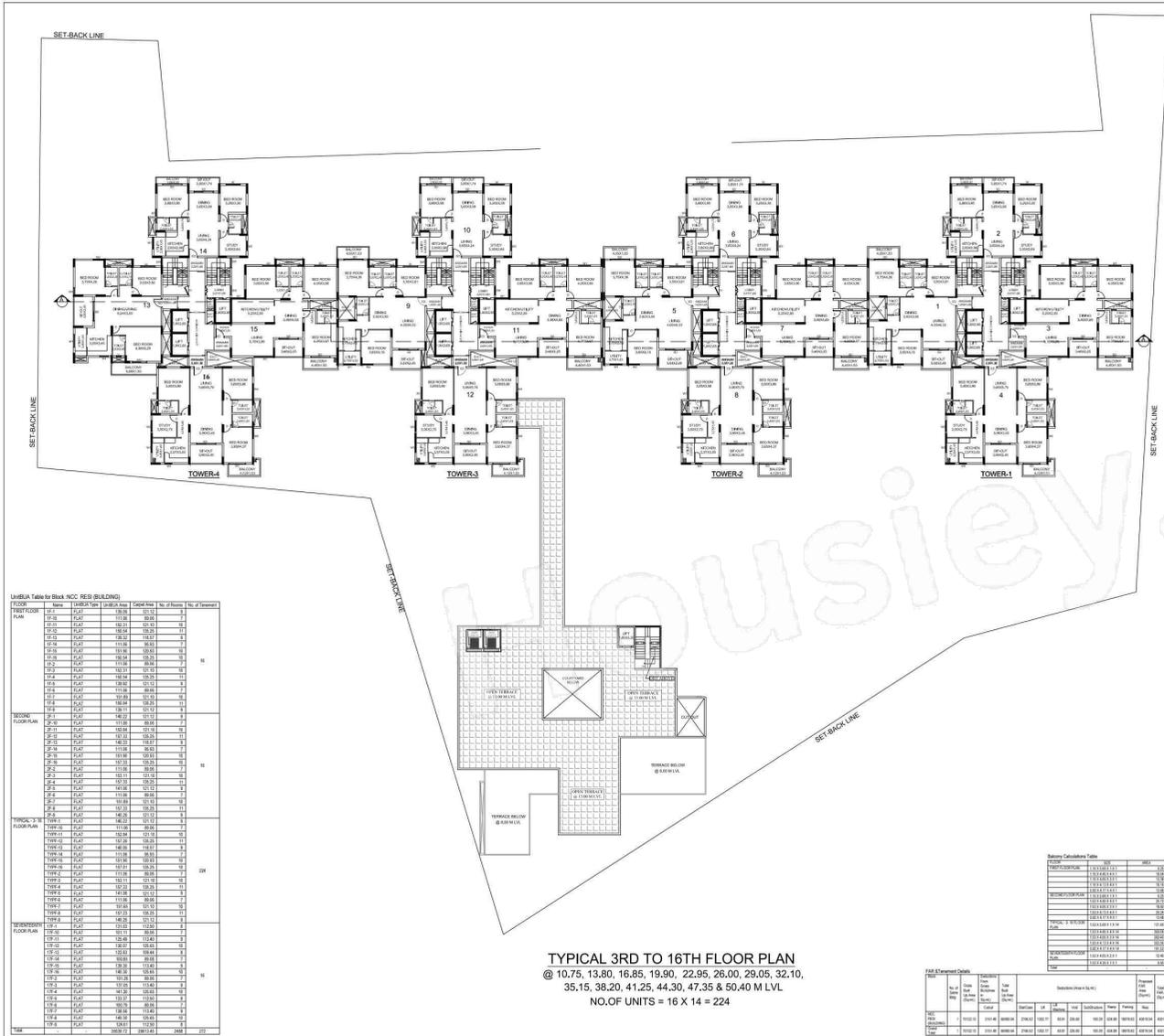
CONTRACT AUTHORITY

Name	Address	Contact No.

PROJECT FILE

PROJECT NO: 2024/01/001

DATE: 15/08/2024



TYPICAL 3RD TO 16TH FLOOR PLAN
 @ 10.75, 13.80, 16.85, 19.90, 22.95, 26.00, 29.05, 32.10,
 35.15, 38.20, 41.25, 44.30, 47.35 & 50.40 M LVL
 NO. OF UNITS = 16 X 14 = 224

LEVEL	Area	Code	Area (sqm)	Area (sqft)	No. of Units	No. of Persons
PARKING FLOOR	P1-1	P1-1	180.00	195.35	1	1
	P1-2	P1-2	180.00	195.35	1	1
	P1-3	P1-3	180.00	195.35	1	1
	P1-4	P1-4	180.00	195.35	1	1
	P1-5	P1-5	180.00	195.35	1	1
	P1-6	P1-6	180.00	195.35	1	1
	P1-7	P1-7	180.00	195.35	1	1
	P1-8	P1-8	180.00	195.35	1	1
	P1-9	P1-9	180.00	195.35	1	1
	P1-10	P1-10	180.00	195.35	1	1
	P1-11	P1-11	180.00	195.35	1	1
	P1-12	P1-12	180.00	195.35	1	1
RESIDENT FLOOR	R1-1	R1-1	180.00	195.35	1	1
	R1-2	R1-2	180.00	195.35	1	1
	R1-3	R1-3	180.00	195.35	1	1
	R1-4	R1-4	180.00	195.35	1	1
	R1-5	R1-5	180.00	195.35	1	1
	R1-6	R1-6	180.00	195.35	1	1
	R1-7	R1-7	180.00	195.35	1	1
	R1-8	R1-8	180.00	195.35	1	1
	R1-9	R1-9	180.00	195.35	1	1
	R1-10	R1-10	180.00	195.35	1	1
	R1-11	R1-11	180.00	195.35	1	1
	R1-12	R1-12	180.00	195.35	1	1
TOWER 1 FLOOR PLAN	T1-1	T1-1	180.00	195.35	1	1
	T1-2	T1-2	180.00	195.35	1	1
	T1-3	T1-3	180.00	195.35	1	1
	T1-4	T1-4	180.00	195.35	1	1
	T1-5	T1-5	180.00	195.35	1	1
	T1-6	T1-6	180.00	195.35	1	1
	T1-7	T1-7	180.00	195.35	1	1
	T1-8	T1-8	180.00	195.35	1	1
	T1-9	T1-9	180.00	195.35	1	1
	T1-10	T1-10	180.00	195.35	1	1
	T1-11	T1-11	180.00	195.35	1	1
	T1-12	T1-12	180.00	195.35	1	1
TOWER 2 FLOOR PLAN	T2-1	T2-1	180.00	195.35	1	1
	T2-2	T2-2	180.00	195.35	1	1
	T2-3	T2-3	180.00	195.35	1	1
	T2-4	T2-4	180.00	195.35	1	1
	T2-5	T2-5	180.00	195.35	1	1
	T2-6	T2-6	180.00	195.35	1	1
	T2-7	T2-7	180.00	195.35	1	1
	T2-8	T2-8	180.00	195.35	1	1
	T2-9	T2-9	180.00	195.35	1	1
	T2-10	T2-10	180.00	195.35	1	1
	T2-11	T2-11	180.00	195.35	1	1
	T2-12	T2-12	180.00	195.35	1	1
TOWER 3 FLOOR PLAN	T3-1	T3-1	180.00	195.35	1	1
	T3-2	T3-2	180.00	195.35	1	1
	T3-3	T3-3	180.00	195.35	1	1
	T3-4	T3-4	180.00	195.35	1	1
	T3-5	T3-5	180.00	195.35	1	1
	T3-6	T3-6	180.00	195.35	1	1
	T3-7	T3-7	180.00	195.35	1	1
	T3-8	T3-8	180.00	195.35	1	1
	T3-9	T3-9	180.00	195.35	1	1
	T3-10	T3-10	180.00	195.35	1	1
	T3-11	T3-11	180.00	195.35	1	1
	T3-12	T3-12	180.00	195.35	1	1
TOWER 4 FLOOR PLAN	T4-1	T4-1	180.00	195.35	1	1
	T4-2	T4-2	180.00	195.35	1	1
	T4-3	T4-3	180.00	195.35	1	1
	T4-4	T4-4	180.00	195.35	1	1
	T4-5	T4-5	180.00	195.35	1	1
	T4-6	T4-6	180.00	195.35	1	1
	T4-7	T4-7	180.00	195.35	1	1
	T4-8	T4-8	180.00	195.35	1	1
	T4-9	T4-9	180.00	195.35	1	1
	T4-10	T4-10	180.00	195.35	1	1
	T4-11	T4-11	180.00	195.35	1	1
	T4-12	T4-12	180.00	195.35	1	1

Approval Condition:
 This Plan Section is issued subject to the following conditions and additional conditions mentioned in the Building License.

1. Section is approved for the Residential Building plan as per By-Law 32, 33, 34, 35, 36B & C, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
2. Section is approved for Residential use only. The use of the building shall not be deviated to any other use.
3. 2000 sqm area reserved for car parking shall not be converted for any other purpose.
4. License and approved plans shall be posted in conspicuous places of the licensed premises. The building license and the copies of approved plans with specifications shall be available on a frame and displayed and they shall be made available during inspections.
5. On completion of foundation or building before erection of walls on the foundation and in the case of column structure before erecting the columns 'COMMENCEMENT CERTIFICATE' shall be obtained by the site above 27.15m.
6. Construction or reconstruction of the building shall be completed before the expiry of five years from the date of issue of license & within one month after its completion shall apply for permission to occupy the building.
7. Necessary ducts for running telephone cables, cables for ground level post and service cables and for energy garage when the premises shall be provided.
8. The applicant shall construct temporary hoists for the use of construction workers and it should be demolished after the construction.
9. The applicant shall REQUIRE all workers involved in the construction work against any accident / contract incidents arising during the time of construction.
10. The applicant shall not stock any building materials / debris on footpath or on roads or on drains. The debris shall be removed and transported to dumping yard.
11. The applicant / builder is prohibited from selling the building units / open spaces and the common facility areas, which shall be accessible to all the tenants and occupants.
12. The applicant shall provide a space for locating the distribution transformers & associated equipment as per I.E.C. (IS) Code having 3.00 m clear from the building within the premises.
13. The applicant shall provide a separate room previously 4.50 x 3.00 m in the basement for installation of fire alarm equipment and for safe provisions for fire alarm service as per By-Law 17.
14. The applicant shall maintain during construction safety barricading as considered necessary to prevent dust, debris & other materials endangering the safety of people / structures etc. in & around the building.
15. If any worker / builder commences the foundation of Building (by-laws and rules & franchise, the Employer / Supervisor will be informed by the Authority in the first instance, written in the second instance and verbal registration if the same is repeated in the third instance.
16. If any worker / builder commences the foundation of Building (by-laws and rules & franchise, the Employer / Supervisor will be informed by the Authority in the first instance, written in the second instance and verbal registration if the same is repeated in the third instance.
17. In all cases, the applicant / owner at the time of work shall adhere to the duties and responsibilities specified in Schedule 'A' (By-Law No. 3) under sub-section 8 (b) (ii).
18. The building shall be constructed under the supervision of a registered structural engineer.
19. The building should not be occupied without obtaining 'OCCUPANCY CERTIFICATE' from the competent authority.
20. The applicant shall ensure that Rain Water Harvesting Structure are provided & maintain in good condition for storage of water for non-potable use or recharge of ground water at all times having a minimum tank capacity mentioned in this By-Law.
21. The building shall be designed and constructed as per the norms prescribed in National Building Code and in the 'Criteria for earthquake resistant design of structures' bearing No. IS 1013:2009 published by the Bureau of Indian Standards making the building resistant to earthquake.
22. Building frame to be designed by a registered structural engineer. Storage of C.S.C., water tanks and other construction material shall be designed to ensure structural stability. The responsibility of ensuring structural stability lies on the owner / builder and the structural engineer.
23. The applicant should provide rain water harvesters as table 17 of By-Law No. 26 for the building.
24. Facilities for physically handicapped persons prescribed in schedule X (By-Law No. 41) of Building By-Laws 2003 and Government orders time to time shall be ensured.
25. The applicant shall provide at least one common toilet in the ground floor for the use of the visitors / tenants / drivers and security men and also ensure that the physically handicapped persons together with the disabled entry.
26. The applicant shall ensure that no inconvenience is caused to the neighbours in the vicinity of construction and that the construction activities shall stop before 10:30 PM and resume the work earlier than 7:00 AM to avoid disturbance during late hours and early morning hours.
27. Garbage originating from Apartments / Commercial buildings shall be segregated into organic and inorganic waste and should be processed in the Recycling processing unit installed as per the norms / Appraisal (Applicable for Residential units of 20 and above and 2000 Sqm and above building areas for Commercial buildings).
28. The structures with basements shall be designed for structural stability and safety to ensure for soil settlements during the course of excavation for basements with safe design for retaining walls and soil structure for the stability of the structure on soil and neighbouring property, public roads and footpaths and besides ensuring safety of workers and general public by erecting safety barricades.
29. Ten vehicle parking shall be provided as per the building plan.
30. The Owner / Association of the high-rise building shall conduct two 'lock' tests in the building as before the onset of summer and another during the summer and ensure complete safety in respect of fire hazards.
31. A communication shall be provided for setting of schedule for imparting education to the children of construction workers in the labour camp / construction site.
32. List of children of workers shall be furnished by the employer / contractor to the Labour Department which is mandatory.
33. Employment of child labour in the construction activities strictly prohibited.
34. Obeying NCC from the Labour Department before commencing the construction work is a must.

Color Index

COLOR INDEX	DESCRIPTION
RED	PROPOSED WORK (CONTRACT AREA)
GREEN	EXISTING WORK (CONTRACT AREA)
BLUE	EXISTING WORK (NON-CONTRACT AREA)

Scale: 1:100

Location Map

Details of Rain Water Harvesting Structures

1. Register of Applicant / Builder / Owner / Contractor and the construction workers working in the construction site with the 'Karnataka Building and Other Construction Workers Welfare Board' shall be submitted to the Authority.

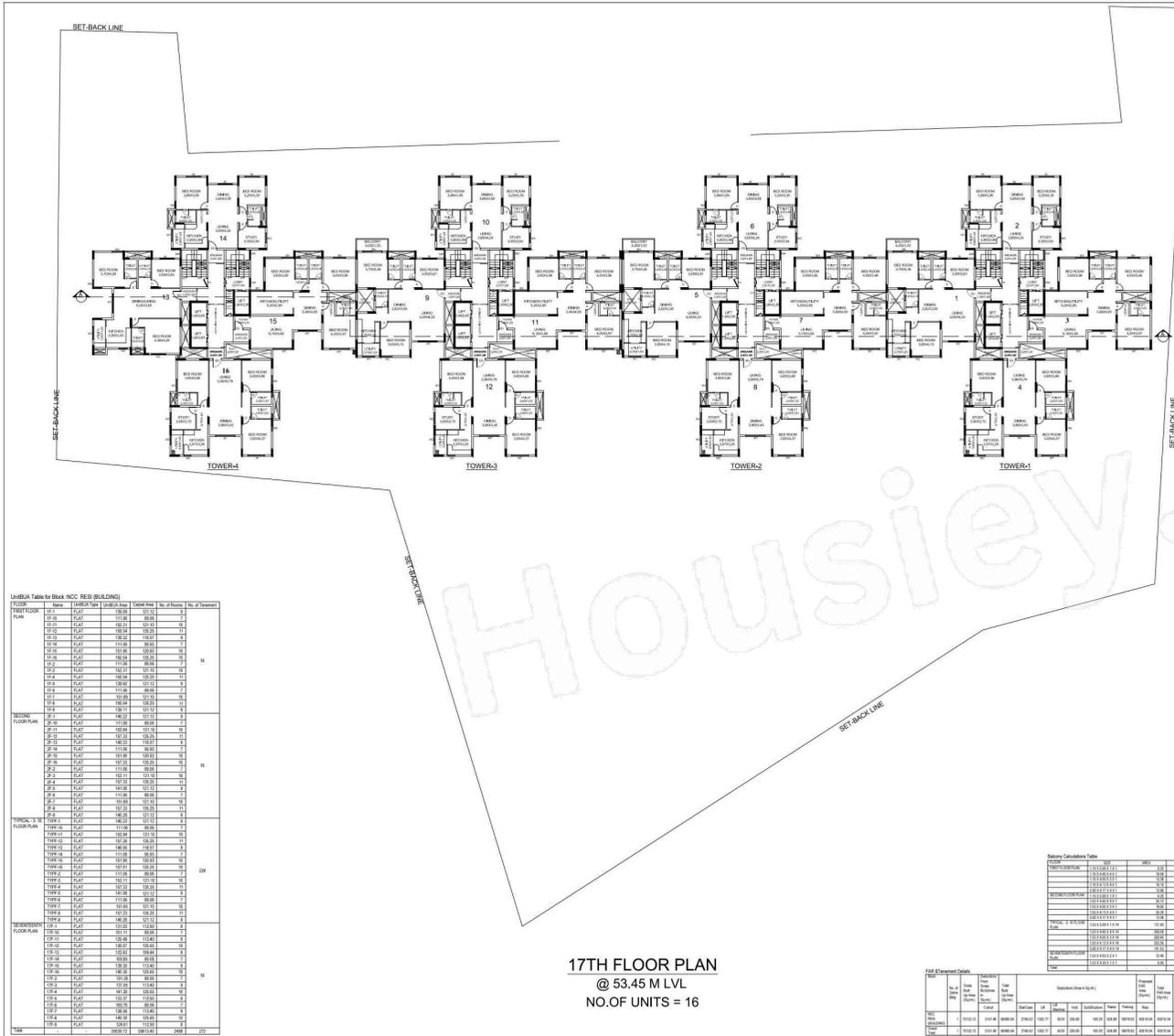
2. The Applicant / Builder / Owner / Contractor shall submit the Registration of establishment and list of construction workers engaged at the time of issue of Commencement Certificate. A copy of the same shall also be submitted to the concerned Engineer in order to inspect the establishment and ensure the registration of establishment and workers working at construction site or work place.

3. The Applicant / Builder / Owner / Contractor shall also inform the change if any of the list of workers engaged by him.

4. Any person of the Applicant / Builder / Owner / Contractor shall engage a construction worker in his site or work place who is not registered with the 'Karnataka Building and Other Construction Workers Welfare Board'.

Checklist of Safety

Sl. No.	Particulars	Yes/No	Remarks
1	Is the site safe for construction work?		
2	Are the workers wearing safety gear?		
3	Are the structures properly designed?		
4	Are the basements properly excavated?		
5	Are the structures properly constructed?		
6	Are the structures properly finished?		
7	Are the structures properly painted?		
8	Are the structures properly plastered?		
9	Are the structures properly tiled?		
10	Are the structures properly roofed?		
11	Are the structures properly furnished?		
12	Are the structures properly equipped?		
13	Are the structures properly maintained?		
14	Are the structures properly protected?		
15	Are the structures properly secured?		
16	Are the structures properly cleaned?		
17	Are the structures properly painted?		
18	Are the structures properly plastered?		
19	Are the structures properly tiled?		
20	Are the structures properly roofed?		
21	Are the structures properly furnished?		
22	Are the structures properly equipped?		
23	Are the structures properly maintained?		
24	Are the structures properly protected?		
25	Are the structures properly secured?		
26	Are the structures properly cleaned?		
27	Are the structures properly painted?		
28	Are the structures properly plastered?		
29	Are the structures properly tiled?		
30	Are the structures properly roofed?		
31	Are the structures properly furnished?		
32	Are the structures properly equipped?		
33	Are the structures properly maintained?		
34	Are the structures properly protected?		
35	Are the structures properly secured?		
36	Are the structures properly cleaned?		
37	Are the structures properly painted?		
38	Are the structures properly plastered?		
39	Are the structures properly tiled?		
40	Are the structures properly roofed?		
41	Are the structures properly furnished?		
42	Are the structures properly equipped?		
43	Are the structures properly maintained?		
44	Are the structures properly protected?		
45	Are the structures properly secured?		
46	Are the structures properly cleaned?		
47	Are the structures properly painted?		
48	Are the structures properly plastered?		
49	Are the structures properly tiled?		
50	Are the structures properly roofed?		
51	Are the structures properly furnished?		
52	Are the structures properly equipped?		
53	Are the structures properly maintained?		
54	Are the structures properly protected?		
55	Are the structures properly secured?		
56	Are the structures properly cleaned?		
57	Are the structures properly painted?		
58	Are the structures properly plastered?		
59	Are the structures properly tiled?		
60	Are the structures properly roofed?		
61	Are the structures properly furnished?		
62	Are the structures properly equipped?		
63	Are the structures properly maintained?		
64	Are the structures properly protected?		
65	Are the structures properly secured?		
66	Are the structures properly cleaned?		
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68	Are the structures properly plastered?		
69	Are the structures properly tiled?		
70	Are the structures properly roofed?		
71	Are the structures properly furnished?		
72	Are the structures properly equipped?		
73	Are the structures properly maintained?		
74	Are the structures properly protected?		
75	Are the structures properly secured?		
76	Are the structures properly cleaned?		
77	Are the structures properly painted?		
78	Are the structures properly plastered?		
79	Are the structures properly tiled?		
80	Are the structures properly roofed?		
81	Are the structures properly furnished?		
82	Are the structures properly equipped?		
83	Are the structures properly maintained?		
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85	Are the structures properly secured?		
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88	Are the structures properly plastered?		
89	Are the structures properly tiled?		
90	Are the structures properly roofed?		
91	Are the structures properly furnished?		
92	Are the structures properly equipped?		
93	Are the structures properly maintained?		
94	Are the structures properly protected?		
95	Are the structures properly secured?		
96	Are the structures properly cleaned?		
97	Are the structures properly painted?		
98	Are the structures properly plastered?		
99	Are the structures properly tiled?		
100	Are the structures properly roofed?		



17TH FLOOR PLAN
 @ 53.45 M LVL
 NO. OF UNITS = 16

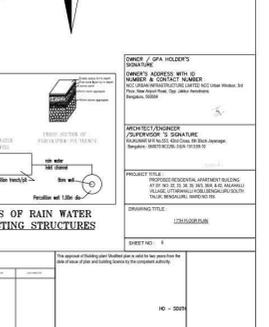
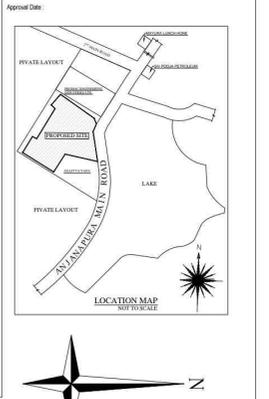
UNIT NO.	TYPE	AREA (sqm)	NO. OF UNITS	NO. OF BEDS	NO. OF BATHS
17-01	FLAT	108.20	1	1	1
17-02	FLAT	108.20	1	1	1
17-03	FLAT	108.20	1	1	1
17-04	FLAT	108.20	1	1	1
17-05	FLAT	108.20	1	1	1
17-06	FLAT	108.20	1	1	1
17-07	FLAT	108.20	1	1	1
17-08	FLAT	108.20	1	1	1
17-09	FLAT	108.20	1	1	1
17-10	FLAT	108.20	1	1	1
17-11	FLAT	108.20	1	1	1
17-12	FLAT	108.20	1	1	1
17-13	FLAT	108.20	1	1	1
17-14	FLAT	108.20	1	1	1
17-15	FLAT	108.20	1	1	1
17-16	FLAT	108.20	1	1	1
17-17	FLAT	108.20	1	1	1
17-18	FLAT	108.20	1	1	1
17-19	FLAT	108.20	1	1	1
17-20	FLAT	108.20	1	1	1
17-21	FLAT	108.20	1	1	1
17-22	FLAT	108.20	1	1	1
17-23	FLAT	108.20	1	1	1
17-24	FLAT	108.20	1	1	1
17-25	FLAT	108.20	1	1	1
17-26	FLAT	108.20	1	1	1
17-27	FLAT	108.20	1	1	1
17-28	FLAT	108.20	1	1	1
17-29	FLAT	108.20	1	1	1
17-30	FLAT	108.20	1	1	1
17-31	FLAT	108.20	1	1	1
17-32	FLAT	108.20	1	1	1
17-33	FLAT	108.20	1	1	1
17-34	FLAT	108.20	1	1	1
17-35	FLAT	108.20	1	1	1
17-36	FLAT	108.20	1	1	1
17-37	FLAT	108.20	1	1	1
17-38	FLAT	108.20	1	1	1
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17-43	FLAT	108.20	1	1	1
17-44	FLAT	108.20	1	1	1
17-45	FLAT	108.20	1	1	1
17-46	FLAT	108.20	1	1	1
17-47	FLAT	108.20	1	1	1
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17-51	FLAT	108.20	1	1	1
17-52	FLAT	108.20	1	1	1
17-53	FLAT	108.20	1	1	1
17-54	FLAT	108.20	1	1	1
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17-59	FLAT	108.20	1	1	1
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17-63	FLAT	108.20	1	1	1
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17-65	FLAT	108.20	1	1	1
17-66	FLAT	108.20	1	1	1
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17-68	FLAT	108.20	1	1	1
17-69	FLAT	108.20	1	1	1
17-70	FLAT	108.20	1	1	1
17-71	FLAT	108.20	1	1	1
17-72	FLAT	108.20	1	1	1
17-73	FLAT	108.20	1	1	1
17-74	FLAT	108.20	1	1	1
17-75	FLAT	108.20	1	1	1
17-76	FLAT	108.20	1	1	1
17-77	FLAT	108.20	1	1	1
17-78	FLAT	108.20	1	1	1
17-79	FLAT	108.20	1	1	1
17-80	FLAT	108.20	1	1	1
17-81	FLAT	108.20	1	1	1
17-82	FLAT	108.20	1	1	1
17-83	FLAT	108.20	1	1	1
17-84	FLAT	108.20	1	1	1
17-85	FLAT	108.20	1	1	1
17-86	FLAT	108.20	1	1	1
17-87	FLAT	108.20	1	1	1
17-88	FLAT	108.20	1	1	1
17-89	FLAT	108.20	1	1	1
17-90	FLAT	108.20	1	1	1
17-91	FLAT	108.20	1	1	1
17-92	FLAT	108.20	1	1	1
17-93	FLAT	108.20	1	1	1
17-94	FLAT	108.20	1	1	1
17-95	FLAT	108.20	1	1	1
17-96	FLAT	108.20	1	1	1
17-97	FLAT	108.20	1	1	1
17-98	FLAT	108.20	1	1	1
17-99	FLAT	108.20	1	1	1
17-100	FLAT	108.20	1	1	1

- Approval Condition:**
 This Plan Section is issued subject to the following conditions and additional conditions mentioned in the Building License.
1. Section is approved for the Residential Building plan as per By-Law 33.
 2. 14, 35, 36B & 42 (Amend) (Village Development).
 3. Section is approved for Residential use only. The use of the building shall not be deviated to any other use.
 4. 2000 sq area reserved for car parking shall not be converted for any other purpose.
 5. Common and approved plans shall be posted in conspicuous places of the common premises. The building forms and the copies of approved plans with specifications shall be maintained on a frame and displayed and they shall be made available during inspections.
 6. On completion of foundation or building before erection of walls on the foundation and in the case of column structure before erecting the columns "COMPLETION CERTIFICATE" shall be obtained for the site above 371 Sqm.
 7. Construction or reconstruction of the building should be completed before the expiry of five years from the date of issue of license & within one month after its completion shall apply for permission to occupy the building.
 8. Necessary ducts for running telephone cables, cables for ground level for postal services & space for storage garage within the premises shall be provided.
 9. The applicant shall construct temporary hoists for the use of construction workers and it should be demolished after the construction.
 10. The applicant shall ensure all workers involved in the construction work against any accident / contract incidents arising during the time of construction.
 11. The applicant shall not stock any building materials / debris on footpath or on roads or on drains. The debris shall be removed and transported to nearby dumping yard.
 12. The applicant / builder is prohibited from selling the building units / open spaces or common facilities, unless such shall be accessible to all the tenants and occupants.
 13. The applicant shall provide a space for locating the distribution transformers & associated equipment as per I.C.E.C. (S&C) Code bearing 3.0 m clear from the building within the premises.
 14. The applicant shall provide a separate room previously 4.50 x 3.05 m in the basement for installation of common equipment used for the provision for business services as per By-Law 33.
 15. The applicant shall maintain during construction safety barricading as considered necessary to prevent dust, debris & other materials endangering the safety of people / structures etc. in the vicinity of the building.
 16. Permission shall be obtained from forest department / section for cutting trees before the building work.
 17. If any owner / builder contravenes the provisions of Building By-Laws and rules in force, the Authority / Engineer / Supervisor will be informed by the Authority in the first instance, written in the second instance and verbal re-education in the third instance.
 18. If the applicant / owner / builder / contractor / contractor shall adhere to the duties and responsibilities specified in Schedule 4B (By-Law No. 33) under sub-section 8 (b) (ii).
 19. The building should be completed under the supervision of a registered structural engineer.
 20. The building should not be occupied without obtaining "OCCUPANCY CERTIFICATE" from the competent authority.
 21. The applicant shall ensure that Rain Water Harvesting Structure are provided & maintain in good condition the storage of water for non-potable purposes & recharge of ground water at all times having a minimum tank capacity mentioned in this By-Law.
 22. The building shall be designed and constructed according to the norms prescribed in National Building Code and in the "Criteria for earthquake resistant design of structures" bearing No. 10/2007 published by the Bureau of Indian Standards making the building resistant to earthquake.
 23. Building levels to be designed by a registered structural engineer. Steps on S.C. water tanks and other structure and building shall be designed to ensure structural stability. The responsibility of engineering structural stability lies on the owner / builder and the structural engineer.
 24. The applicant should provide rain water basins as per table 17 of By-Law No. 26 to the building.
 25. Facilities for physically handicapped persons prescribed in schedule XI (By-Law 46) 31) of Building By-Laws 2003 and Government orders time to time shall be ensured.
 26. The applicant shall provide at least one common toilet in the ground floor for the use of the visitors / tenants / drivers and security men and also entrance shall be approached through a ramp for the physically handicapped persons together with the stepped entry.
 27. The applicant shall ensure that no inconvenience is caused to the neighbours in the vicinity of construction and that the construction activities shall stop before 10:30 PM and resume the work earlier than 7:00 AM to avoid nuisance during late hours and early morning hours.
 28. Garbage originating from Apartments / Commercial buildings shall be segregated into organic and inorganic waste and should be processed in the Recycling processing unit installed as per the rule / Appraisal (Applicable for Residential units of 20 and above and 2000 Sqm and above building type for Commercial buildings).
 29. The structures with basements shall be designed for structural stability and safety to ensure for soil settlements during the course of excavation for basements with safe design for retaining walls and support structure for the stability of the structure on soil and neighbouring property, public roads and footpaths and besides ensuring safety of workers and general public by erecting safety barricades.
 30. Non-vehicle parking shall be provided as per the building plan.
 31. The Owner / Association of the high-rise building shall construct rock AC' balls in the building area before the onset of summer and another during the summer and ensure complete safety in respect of fire hazards.
 32. Accommodation shall be provided for setting of schedule for imparting education to the children of construction workers in the labour camps / construction area.
 33. All children of workers shall be brought by the builder/ contractor to the Labour Department which is mandatory.
 34. Employment of child labour in the construction activities strictly prohibited.
 35. Obtaining NCC from the Labour Department before commencing the construction work is a must.

Color Index

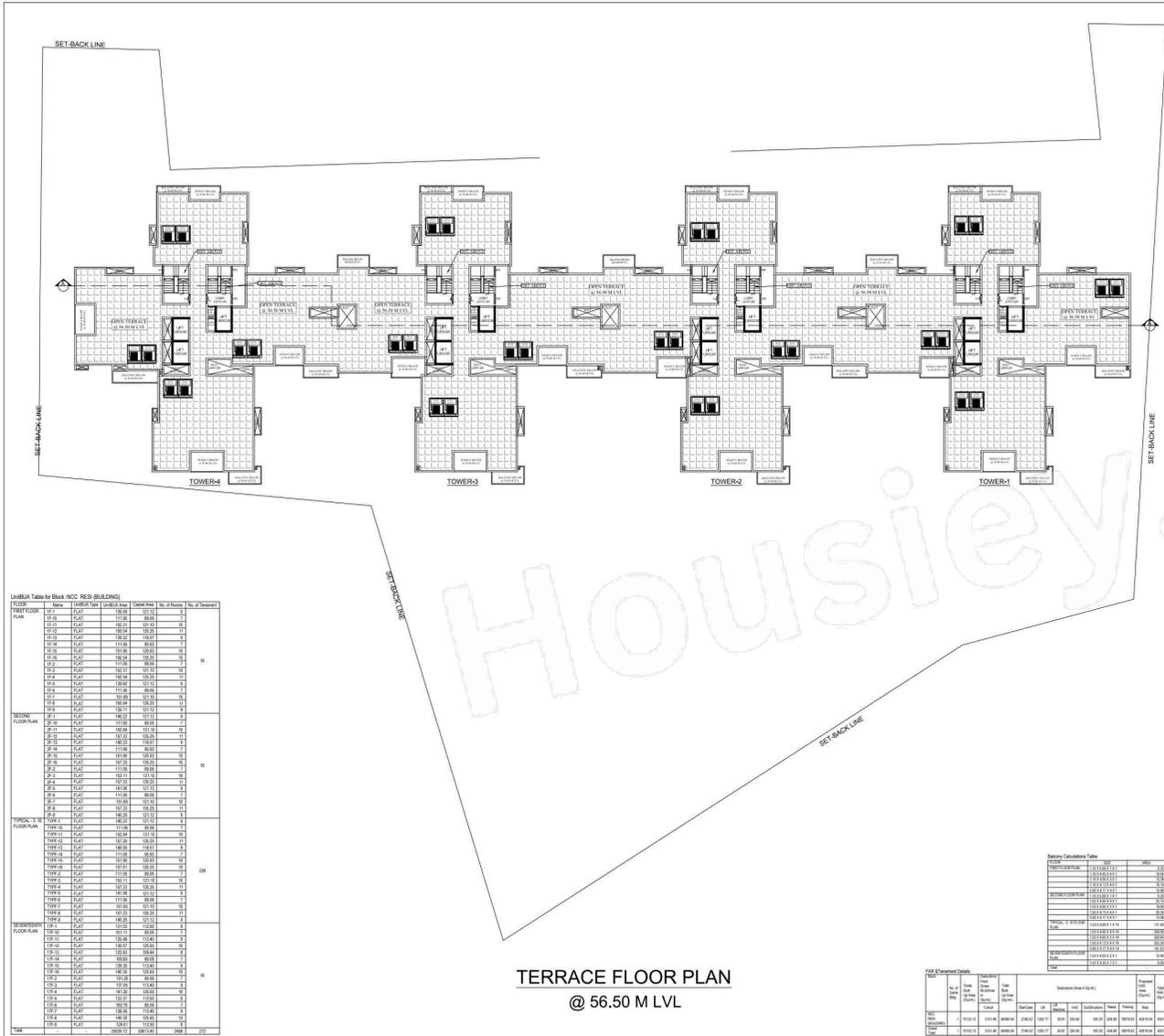
COLOR INDEX	DESCRIPTION
RED	PROPOSED NEW CONSTRUCTION
GREEN	EXISTING CONSTRUCTION
BLUE	EXISTING CONSTRUCTION
YELLOW	EXISTING CONSTRUCTION

Scale: 1:100



Book NCC RES (BUILDING)

Unit No.	Area (sqm)	Volume (cu m)	Weight (kg)	Height (m)	Notes
17-01	108.20	108.20	108.20	108.20	
17-02	108.20	108.20	108.20	108.20	
17-03	108.20	108.20	108.20	108.20	
17-04	108.20	108.20	108.20	108.20	
17-05	108.20	108.20	108.20	108.20	
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17-11	108.20	108.20	108.20	108.20	
17-12	108.20	108.20	108.20	108.20	
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17-14	108.20	108.20	108.20	108.20	
17-15	108.20	108.20	108.20	108.20	
17-16	108.20	108.20	108.20	108.20	
17-17	108.20	108.20	108.20	108.20	
17-18	108.20	108.20	108.20	108.20	
17-19	108.20	108.20	108.20	108.20	
17-20	108.20	108.20	108.20	108.20	
17-21	108.20	108.20	108.20	108.20	
17-22	108.20	108.20	108.20	108.20	
17-23	108.20	108.20	108.20	108.20	
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17-28	108.20	108.20	108.20	108.20	
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17-43	108.20	108.20	108.20	108.20	
17-44	108.20	108.20	108.20	108.20	
17-45	108.20	108.20	108.20	108.20	
17-46	108.20	108.20	108.20	108.20	
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17-51	108.20	108.20	108.20	108.20	
17-52	108.20	108.20	108.20	108.20	
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17-64	108.20	108.20	108.20	108.20	
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17-67	108.20	108.20	108.20	108.20	
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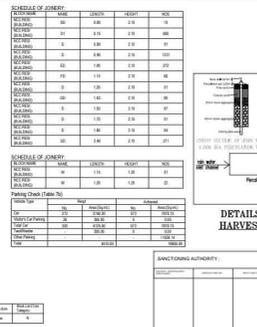
TERRACE FLOOR PLAN
@ 56.50 M LVL

FLOOR	Name	UBSDFY No.	UBSDFY Date	UBSDFY No.	UBSDFY Date	UBSDFY No.	UBSDFY Date
PARKING FLOOR	10-1	PAU	18/08	101	10/12	1	
	10-2	PAU	18/08	102	10/12	1	
	10-3	PAU	18/08	103	10/12	1	
	10-4	PAU	18/08	104	10/12	1	
	10-5	PAU	18/08	105	10/12	1	
	10-6	PAU	18/08	106	10/12	1	
	10-7	PAU	18/08	107	10/12	1	
	10-8	PAU	18/08	108	10/12	1	
	10-9	PAU	18/08	109	10/12	1	
	10-10	PAU	18/08	110	10/12	1	
	10-11	PAU	18/08	111	10/12	1	
	10-12	PAU	18/08	112	10/12	1	
RESIDENT FLOOR	11-1	PAU	18/08	113	10/12	1	
	11-2	PAU	18/08	114	10/12	1	
	11-3	PAU	18/08	115	10/12	1	
	11-4	PAU	18/08	116	10/12	1	
	11-5	PAU	18/08	117	10/12	1	
	11-6	PAU	18/08	118	10/12	1	
	11-7	PAU	18/08	119	10/12	1	
	11-8	PAU	18/08	120	10/12	1	
	11-9	PAU	18/08	121	10/12	1	
	11-10	PAU	18/08	122	10/12	1	
	11-11	PAU	18/08	123	10/12	1	
	11-12	PAU	18/08	124	10/12	1	
TOWER-1 FLOOR	12-1	PAU	18/08	125	10/12	1	
	12-2	PAU	18/08	126	10/12	1	
	12-3	PAU	18/08	127	10/12	1	
	12-4	PAU	18/08	128	10/12	1	
	12-5	PAU	18/08	129	10/12	1	
	12-6	PAU	18/08	130	10/12	1	
	12-7	PAU	18/08	131	10/12	1	
	12-8	PAU	18/08	132	10/12	1	
	12-9	PAU	18/08	133	10/12	1	
	12-10	PAU	18/08	134	10/12	1	
	12-11	PAU	18/08	135	10/12	1	
	12-12	PAU	18/08	136	10/12	1	
TOWER-2 FLOOR	13-1	PAU	18/08	137	10/12	1	
	13-2	PAU	18/08	138	10/12	1	
	13-3	PAU	18/08	139	10/12	1	
	13-4	PAU	18/08	140	10/12	1	
	13-5	PAU	18/08	141	10/12	1	
	13-6	PAU	18/08	142	10/12	1	
	13-7	PAU	18/08	143	10/12	1	
	13-8	PAU	18/08	144	10/12	1	
	13-9	PAU	18/08	145	10/12	1	
	13-10	PAU	18/08	146	10/12	1	
	13-11	PAU	18/08	147	10/12	1	
	13-12	PAU	18/08	148	10/12	1	
TOWER-3 FLOOR	14-1	PAU	18/08	149	10/12	1	
	14-2	PAU	18/08	150	10/12	1	
	14-3	PAU	18/08	151	10/12	1	
	14-4	PAU	18/08	152	10/12	1	
	14-5	PAU	18/08	153	10/12	1	
	14-6	PAU	18/08	154	10/12	1	
	14-7	PAU	18/08	155	10/12	1	
	14-8	PAU	18/08	156	10/12	1	
	14-9	PAU	18/08	157	10/12	1	
	14-10	PAU	18/08	158	10/12	1	
	14-11	PAU	18/08	159	10/12	1	
	14-12	PAU	18/08	160	10/12	1	
TOWER-4 FLOOR	15-1	PAU	18/08	161	10/12	1	
	15-2	PAU	18/08	162	10/12	1	
	15-3	PAU	18/08	163	10/12	1	
	15-4	PAU	18/08	164	10/12	1	
	15-5	PAU	18/08	165	10/12	1	
	15-6	PAU	18/08	166	10/12	1	
	15-7	PAU	18/08	167	10/12	1	
	15-8	PAU	18/08	168	10/12	1	
	15-9	PAU	18/08	169	10/12	1	
	15-10	PAU	18/08	170	10/12	1	
	15-11	PAU	18/08	171	10/12	1	
	15-12	PAU	18/08	172	10/12	1	

- Approved Condition:**
This Plan Section is issued subject to the following conditions and additional conditions mentioned in the Building Licence.
1. Section 1 approved for the Residential Building plan by No. 32, 33, 34, 35, 36, 37, 38 & 42 (Amend) (Village Development)
 2. Section 2 approved for Residential use only. The use of the building shall not be deviated to any other use.
 3. 2000 Sq. M area reserved for car parking shall not be converted for any other purpose.
 4. License and approved plans shall be posted in conspicuous place of the corner premises. The building license and the copies of approved plans with specifications shall be retained on a frame and displayed and they shall be made available during inspections.
 5. On completion of foundation or before laying out of walls on the foundation and in the case of column structure before erecting the columns 'COMMENCEMENT CERTIFICATE' shall be obtained as per the site above 271 Sign.
 6. Construction or reconstruction of the building should be completed before the expiry of five years from the date of issue of license & within one month after its completion shall apply for permission to occupy the building.
 7. Necessary ducts for running telephone cables, cables for ground level post and service & space for storage garage when the premises shall be provided.
 8. The applicant shall construct temporary hoists for the use of construction workers and it should be demolished after the construction.
 9. The applicant shall REQUIRE all workers involved in the construction work against any accident / contract incidents arising during the time of construction.
 10. The applicant shall not stock any building materials / debris on footpath or on roads or on drains. The debris shall be removed and transported to nearby dumping yard.
 11. The applicant / builder is prohibited from selling the building area / corner section and the corner facility areas, which shall be accessible to all the tenants and occupants.
 12. The applicant shall provide a space for locating the distribution transformers & associated equipment as per I.E.C.C. (S&C) Code bearing 3.00 mts. from the building within the premises.
 13. The applicant shall provide a separate room previously 4.50 x 3.00 m in the basement for installation of fire alarm equipment and it shall be provided for fire alarm services as per By-law.
 14. The applicant shall maintain during construction safety barricading as considered necessary to prevent dust, debris & other building materials or debris of people / structures etc. in & around the building.
 15. Permission shall be obtained from forest department / section for cutting trees before the commencement of the work.
 16. If any owner / builder contravenes the provisions of Building By-laws and rules & rates, the Applicant / Supervisor will be informed by the Authority in the first instance, warned in the second instance and cancel the registration if the same is repeated in the third instance.
 17. Building license, applicant / owner or the contractor shall adhere to the duties and responsibilities specified in Schedule 4B (By-law No. 3) under sub-section 8 (b) & (c).
 18. The building shall be constructed under the supervision of a registered structural engineer.
 19. The building shall not be occupied without 'OCCUPANCY CERTIFICATE' from the competent authority.
 20. The applicant shall ensure that Rain Water Harvesting Structure are provided & maintain in good condition for storage of water for non-potable purposes or recharge of ground water at all times having a minimum tank capacity mentioned in this By-law.
 21. The building shall be designed and constructed according to the norms prescribed in National Building Code and in the 'Criteria for earthquake resistant design of structures' bearing No. IS: 10130 (2002) published by the Bureau of Indian Standards making the building resistant to earthquake.
 22. Building license to be designed by a registered structural engineer. Based on S.C. water tanks and other criteria and building shall be designed to ensure structural stability.
 23. The responsibility of ensuring structural stability lies on the owner / builder and the structural engineer.
 24. The applicant should provide rain water tanks as per table 17 of By-law No. 26 in the building.
 24. Facilities for physically handicapped persons prescribed in schedule X (By-law 4B) 31) of Building By-law 2003 and Government orders time to time shall be ensured.
 25. The applicant shall provide at least one common toilet in the ground floor for the use of the visitors / tenants / drivers and security men and also ensure that the physically handicapped persons together with the disabled entry.
 26. The applicant shall ensure that no inconvenience is caused to the neighbours in the vicinity of construction and that the construction activities shall stop before 10:00 PM and resume the work earlier than 7:00 AM to avoid nuisance during late hours and early morning hours.
 27. Garbage originating from Apartments / Commercial buildings shall be segregated into organic and inorganic waste and should be processed in the Recycling processing unit installed as per the rule / Approval / Approvable for Residential units of 20 and above and 2000 Sq. M and above building (as per Commercial building).
 28. The structures with basements shall be designed for structural stability and safety to ensure for soil settlements during the course of excavation for basements with safe design for retaining walls and super structures for.
 29. The safety of the structure as well as neighbouring property, public roads and footpaths and besides ensuring safety of workers and general public by erecting safety barricades.
 30. Two-wheel parking shall be provided as per the building plan.
 31. The Owner / Association of the high-rise building shall conduct two 'rock 4C' tests in the building area before the onset of summer and another during the summer and ensure complete safety in respect of fire hazards.
 31. The applicant shall provide for setting of schedule for imparting education to the children of construction workers in the labour camps / construction area.
 32. List of children of workers shall be furnished by the employer / contractor to the Labour Department which is mandatory.
 33. Employment of child labour in the construction activities shall be prohibited.
 34. Obtaining NCC from the Labour Department before commencing the construction work is a must.

Block NCC RES (BUILDING)

Block	Area (sq. m)	Volume (cu. m)	Height (m)	Number of Floors	Number of Units
Block 1	1000	10000	10	10	100
Block 2	1000	10000	10	10	100
Block 3	1000	10000	10	10	100
Block 4	1000	10000	10	10	100
Block 5	1000	10000	10	10	100
Block 6	1000	10000	10	10	100
Block 7	1000	10000	10	10	100
Block 8	1000	10000	10	10	100
Block 9	1000	10000	10	10	100
Block 10	1000	10000	10	10	100



Colour Index

Colour	Index
Red	1
Green	2
Blue	3
Yellow	4
Black	5

Scale: 1:100

Location Map

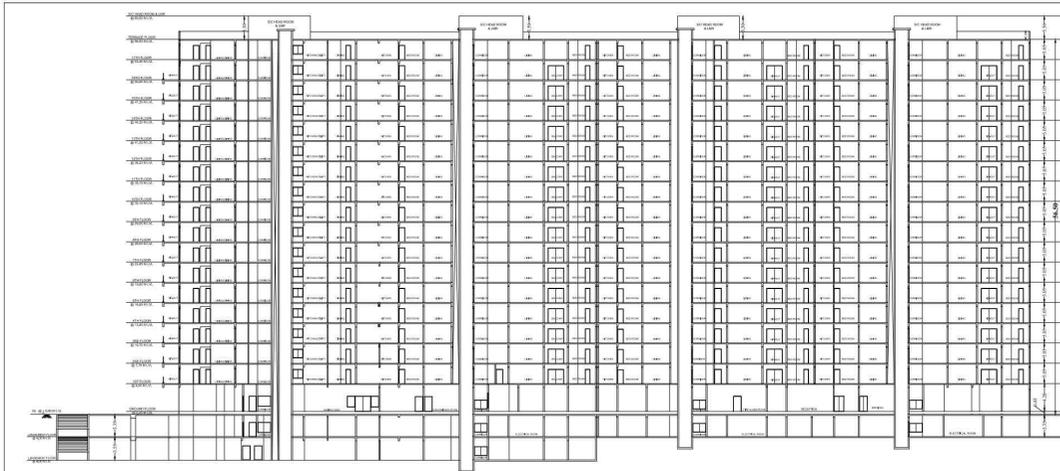
Details of Rain Water Harvesting Structures

Sanctioning Authority

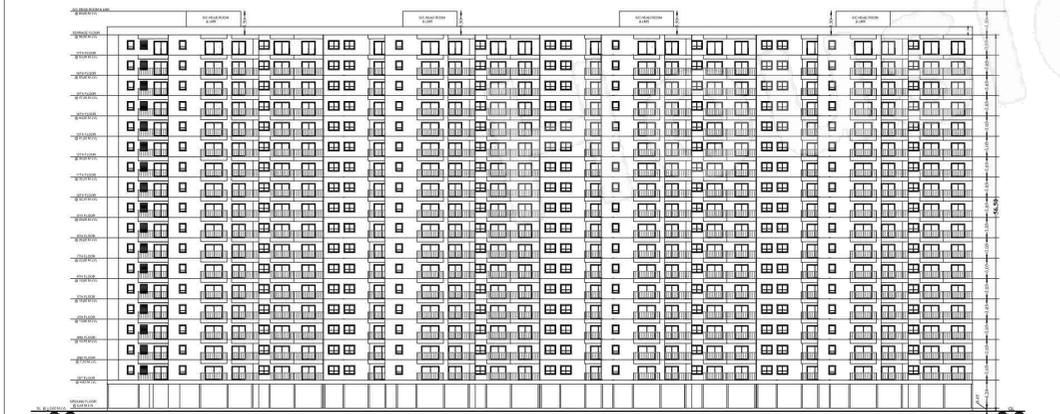
Name	Designation

Project File No.

Sheet No. 10



SECTION AT-AA



ELEVATION

- Approval Condition:**
This Plan Section is issued subject to the following conditions and additional conditions mentioned in the Building Licence.
1. Section A approved for the Residential Building plan by No. 32, 33, 34, 35, 36, 38 & 40. (Village Development)
 2. Section B approved for Residential use only. The use of the building shall not be deviated to any other use.
 3. 2000 sq. m area reserved for car parking shall be provided for any other purpose.
 4. License and approval plans shall be posted in conspicuous places of the licensee premises. The building license and the copies of approved plans with specifications shall be mounted on a frame and displayed and they shall be made available during inspections.
 5. On completion of foundation or building before erection of walls on the foundation and in the case of columnar structure before erecting the columns 'COMMENCEMENT CERTIFICATE' shall be obtained at the site above 271 Sign.
 6. Construction or reconstruction of the building shall be completed before the expiry of five years from the date of issue of license & within one month after its completion shall apply for permission to occupy the building.
 7. Necessary ducts for running telephone cables, cables for ground level post and service & space for carrying garbage within the premises shall be provided.
 8. The applicant shall construct temporary hoarding for the use of construction workers and it should be demolished after the construction.
 9. The applicant shall REQUIRE all workers involved in the construction work against any accident / contract incidents arising during the term of construction.
 10. The applicant shall not stock any building materials / debris on footpaths or on roads or on drains. The debris shall be removed and transported to nearby dumping yard.
 11. The applicant / builder is prohibited from selling the building units / open spaces and the common facility areas, which shall be accessible to all the tenants and occupants.
 12. The applicant shall provide a space for locating the distribution transformers & associated equipment as per I.C.E.C. (IS) Code having 3.00 m clear from the building within the premises.
 13. The applicant shall provide a separate room preferably 4.50 x 3.00 m in the basement for installation of fire alarm equipment & fire alarm provisions for business premises as per Fire bye-law.
 14. The applicant shall maintain during construction strict barricading as considered necessary to prevent dust, debris & other materials endangering the safety of people / structures etc. in the neighborhood.
 15. Permission shall be obtained from forest department / sector for cutting trees before the commencement of the work.
 16. If any owner / builder contravenes the provisions of Building Bye-laws and rules & rules, the Applicant / Employer / Supervisor will be informed by the Authority in the first instance, written in the second instance and default registration if the same is repeated for the third time.
 17. Building contractor, applicant or owner in any case shall strictly adhere to the duties and responsibilities specified in Schedule 'A' (Bye-law No. 3) under sub-section 10 (b) (ii).
 18. The building shall be constructed under the supervision of a registered structural engineer.
 19. The building should not be occupied without obtaining 'OCCUPANCY CERTIFICATE' from the competent authority.
 20. The applicant shall ensure that the Rain Water Harvesting Structure are provided & maintain in good condition for storage of water for agricultural purposes or recharge of ground water at all times having a minimum tank capacity mentioned in this By-law.
 21. The building shall be designed and constructed according to the norms prescribed in National Building Code and in the 'Guidelines for earthquake resistant design of structures' bearing No. IS 1013:2009 published by the Bureau of Indian Standards making the building resistant to earthquakes.
 22. Building levels to be designed by a registered structural engineer. Based on S.C. water table and other criteria foundation and building shall be designed to ensure structural stability.
 23. The responsibility of ensuring structural stability lies on the owner / builder and the structural engineer.
 24. The applicant should provide side water basins as per table 17 of Bye-law No. 29 of the building.
 24. Facilities for physically handicapped persons prescribed in schedule XI (Bye-law No. 31) of Building Bye-law 2002 and Government orders from time to time shall be ensured.
 25. The applicant shall provide at least one common toilet in the ground floor for the use of the vicinity / convenient / drivers and security men and also accessible for the approached through a ramp for the Physically handicapped persons together with the stipulated entry.
 26. The applicant shall ensure that no inconvenience is caused to the neighbours in the vicinity of construction and that the construction activities shall begin before 10:00 AM and end and resume the work earlier than 7:00 AM to avoid disturbance during late hours and early morning hours.
 27. Garbage originating from Apartments / Commercial buildings shall be segregated into organic and inorganic waste and should be processed in the Recycling processing and installed as site for its use / disposal (Applicable for Residential units of 20 and above and 3000 Sqm and above building types for Commercial buildings).
 28. The structures with basements shall be designed for structural stability and safety to ensure for soil stabilization during the course of excavation for basements with safe design for retaining walls and super structures.
 29. The safety of the structure as well as neighbouring property, public roads and footpaths, and roads ensuring safety of workers and general public by erecting safety barricades.
 30. No evening parking shall be provided for the building plan.
 31. The Owner / Association of the high rise building shall conduct two 'AC' tests in the building area before the onset of summer and another during the summer and ensure complete safety in respect of fire hazards.
 32. A Accommodation shall be provided for setting of schedule for imparting education to the children of construction workers in the labour camps / construction area.
 33. A list of children of workers shall be furnished by the builder / contractor to the Labour Department which is mandatory.
 34. Employment of child labour in construction activities strictly prohibited.
 35. Obtain NCC from the Labour Department before commencing the construction work in a mat.

URBAN Table for Block NCC RES (BUILDING)

LOOR	Area	Volume	Height	Setback	Other
1	10000	10000	10	10	10
2	10000	10000	10	10	10
3	10000	10000	10	10	10
4	10000	10000	10	10	10
5	10000	10000	10	10	10
6	10000	10000	10	10	10
7	10000	10000	10	10	10
8	10000	10000	10	10	10
9	10000	10000	10	10	10
10	10000	10000	10	10	10
11	10000	10000	10	10	10
12	10000	10000	10	10	10
13	10000	10000	10	10	10
14	10000	10000	10	10	10
15	10000	10000	10	10	10
16	10000	10000	10	10	10
17	10000	10000	10	10	10
18	10000	10000	10	10	10
19	10000	10000	10	10	10
20	10000	10000	10	10	10
21	10000	10000	10	10	10
22	10000	10000	10	10	10
23	10000	10000	10	10	10
24	10000	10000	10	10	10
25	10000	10000	10	10	10
26	10000	10000	10	10	10
27	10000	10000	10	10	10
28	10000	10000	10	10	10
29	10000	10000	10	10	10
30	10000	10000	10	10	10
31	10000	10000	10	10	10
32	10000	10000	10	10	10
33	10000	10000	10	10	10
34	10000	10000	10	10	10
35	10000	10000	10	10	10
36	10000	10000	10	10	10
37	10000	10000	10	10	10
38	10000	10000	10	10	10
39	10000	10000	10	10	10
40	10000	10000	10	10	10
41	10000	10000	10	10	10
42	10000	10000	10	10	10
43	10000	10000	10	10	10
44	10000	10000	10	10	10
45	10000	10000	10	10	10
46	10000	10000	10	10	10
47	10000	10000	10	10	10
48	10000	10000	10	10	10
49	10000	10000	10	10	10
50	10000	10000	10	10	10

Block NCC RES (BUILDING)

Block	Area	Volume	Height	Setback	Other
1	10000	10000	10	10	10
2	10000	10000	10	10	10
3	10000	10000	10	10	10
4	10000	10000	10	10	10
5	10000	10000	10	10	10
6	10000	10000	10	10	10
7	10000	10000	10	10	10
8	10000	10000	10	10	10
9	10000	10000	10	10	10
10	10000	10000	10	10	10
11	10000	10000	10	10	10
12	10000	10000	10	10	10
13	10000	10000	10	10	10
14	10000	10000	10	10	10
15	10000	10000	10	10	10
16	10000	10000	10	10	10
17	10000	10000	10	10	10
18	10000	10000	10	10	10
19	10000	10000	10	10	10
20	10000	10000	10	10	10
21	10000	10000	10	10	10
22	10000	10000	10	10	10
23	10000	10000	10	10	10
24	10000	10000	10	10	10
25	10000	10000	10	10	10
26	10000	10000	10	10	10
27	10000	10000	10	10	10
28	10000	10000	10	10	10
29	10000	10000	10	10	10
30	10000	10000	10	10	10
31	10000	10000	10	10	10
32	10000	10000	10	10	10
33	10000	10000	10	10	10
34	10000	10000	10	10	10
35	10000	10000	10	10	10
36	10000	10000	10	10	10
37	10000	10000	10	10	10
38	10000	10000	10	10	10
39	10000	10000	10	10	10
40	10000	10000	10	10	10
41	10000	10000	10	10	10
42	10000	10000	10	10	10
43	10000	10000	10	10	10
44	10000	10000	10	10	10
45	10000	10000	10	10	10
46	10000	10000	10	10	10
47	10000	10000	10	10	10
48	10000	10000	10	10	10
49	10000	10000	10	10	10
50	10000	10000	10	10	10

Block NCC RES (BUILDING)

Block	Area	Volume	Height	Setback	Other
1	10000	10000	10	10	10
2	10000	10000	10	10	10
3	10000	10000	10	10	10
4	10000	10000	10	10	10
5	10000	10000	10	10	10
6	10000	10000	10	10	10
7	10000	10000	10	10	10
8	10000	10000	10	10	10
9	10000	10000	10	10	10
10	10000	10000	10	10	10
11	10000	10000	10	10	10
12	10000	10000	10	10	10
13	10000	10000	10	10	10
14	10000	10000	10	10	10
15	10000	10000	10	10	10
16	10000	10000	10	10	10
17	10000	10000	10	10	10
18	10000	10000	10	10	10
19	10000	10000	10	10	10
20	10000	10000	10	10	10
21	10000	10000	10	10	10
22	10000	10000	10	10	10
23	10000	10000	10	10	10
24	10000	10000	10	10	10
25	10000	10000	10	10	10
26	10000	10000	10	10	10
27	10000	10000	10	10	10
28	10000	10000	10	10	10
29	10000	10000	10	10	10
30	10000	10000	10	10	10
31	10000	10000	10	10	10
32	10000	10000	10	10	10
33	10000	10000	10	10	10
34	10000	10000	10	10	10
35	10000	10000	10	10	10
36	10000	10000	10	10	10
37	10000	10000	10	10	10
38	10000	10000	10	10	10
39	10000	10000	10	10	10
40	10000	10000	10	10	10
41	10000	10000	10	10	10
42	10000	10000	10	10	10
43	10000	10000	10	10	10
44	10000	10000	10	10	10
45	10000	10000	10	10	10
46	10000	10000	10	10	10
47	10000	10000	10	10	10
48	10000	10000	10	10	10
49	10000	10000	10	10	10
50	10000	10000	10	10	10

Block NCC RES (BUILDING)

Block	Area	Volume	Height	Setback	Other
1	10000	10000	10	10	10
2	10000	10000	10	10	10
3	10000	10000	10	10	10
4	10000	10000	10	10	10
5	10000	10000	10	10	10
6	10000	10000	10	10	10
7	10000	10000	10	10	10
8	10000	10000	10	10	10
9	10000	10000	10	10	10
10	10000	10000	10	10	10
11	10000	10000	10	10	10
12	10000	10000	10	10	10
13	10000	10000	10	10	10
14	10000	10000	10	10	10
15	10000	10000	10		