



STILT FLOOR PLAN

TECHNICAL APPROVAL IS HERE ACCORDED ONLY FOR DWELLING UNITS UNDER SECTION 20(2) OF HYDERABAD METROPOLITAN DEVELOPMENT AUTHORITY ACT 1956 & FORWARDED TO THE MUNICIPAL BODY FOR FINAL SANCTION SUBJECT TO CONDITIONS MENTIONED IN APPROVED PLAN CORRECTED PLAN No. 002-285/1/BP/10/2023

002-285/1/BP/10/2023

002-285/1/BP/10/2023

002-285/1/BP/10/2023

- This approval does not cover the provisions of the Urban Land (Ceiling & Regulation) Act, 1974.
- The local authority shall ensure that ownership clearance (MCD Urban Land Ceiling/clearance of the 77 under 11m) is in order and should scrupulously follow the floor plan or instructions side Memo No. 1132/1/17/25 dated 18-6-97 before submitting plans remaining these technical approved building plans.
- The approval does not cover or exempt the ownership of the site Authority of responsibility of the applicant.
- The Builder/Developer/Owner shall be responsible and ensure the fire safety structural stability requirements of the proposed complex in accordance with the National Building Code, 2005 Provisions.
- The Commissioner of Municipality/Local Authority should physically take over the field shown in Road widening at free of cost before releasing Building permission as per statutory Master Plan/D.F.
- The Carter/DM parking should not be misused for any other purpose.
- The Builder/Developer should ensure that water drainage on per floor level and to the satisfaction of Municipality in addition to the drainage system in-situ.
10. THAT THE APPLICANT SHALL COMPLY THE CONDITIONS LAD DOWN G.O.MS NO 410 M.A. Dt: 8-7-2008, G.O.M.S NO. 168 M.A. Dt: 7-8-2010 AND ITS ENDOWMENTS.
- The applicant shall obtain necessary clearance from the FIRE SERVICES DEPARTMENT for the proposed Apartment complex/building as per the provisions of A.P. FIRE SERVICES ACT, 1999.
- This permission does not require any public agency include HMD/Local Body to acquire the lands for public purpose as per law.
- Two suiters water type fire extinguisher for every 500 Sq.Mts of floor area with Minimum of four suiters fire extinguisher for food and 5 Ltrs. 100% extinguisher minimum 2 Nos. each at Generator and Transformer area shall be provided as per ISIRI 188 specification No.2100-1992.
- Manually operated and alarm system in the entire Building. Separate Underground static Water tank capacity of 15,000 Ltr. capacity Separate Turbine tank of 25,000 Ltr. Capacity for Residential Buildings, House Rail Down Cam.
- Automatic sprinkler system in a provision if the basement area exceeds 200 Sq. more Electrical wiring and installation shall be Certified by the electrical engineers to ensure electrical fire safety.
- To create a pool open spaces with the Neighbors building / premises for maintainability of fire vehicles. No parking or any constructions shall be made in setbacks.
- Fire extinguishers shall be provided with 4 hours Rating fire resistant construction as per Rule 17(e) of A.P. Apartments (Protection of construction and ownership) rules 1974.
- To provide fire escape and its use.
- To provide with a minimum width of 4.5 m and height Clearance of 3 m.
- To provide emergency exit to every Driveway with a width of 4.5 m and height 2.1 m.
- Provide fire extinguisher, alarm (MCD) For the whole site in all floors Provide Generator, as alternate source of electric supply. Emergency lighting in the corridors/lifts/ common areas with exit signs.

For METROPOLITAN COMMISSIONER
Hyderabad Metropolitan Development Authority

Commissioner,
Tollapur Municipality

PLAN SHOWING PROPOSED RESIDENTIAL BUILDINGS CONSISTING OF: BASEMENTS + STILT + 30 UPPER FLOORS AND 3 CLUB HOUSES CONSISTING OF: GROUND + 3 UPPER FLOORS AND GROUND + 3 UPPER FLOORS. SHOWING THE SURVEY NO. 137 & 138, SITUATED AT KOLLUR VILAGE, RAMACHANDRAPURAM MANDAL, SANGAREDDY DISTRICT, TELANGANA STATE.

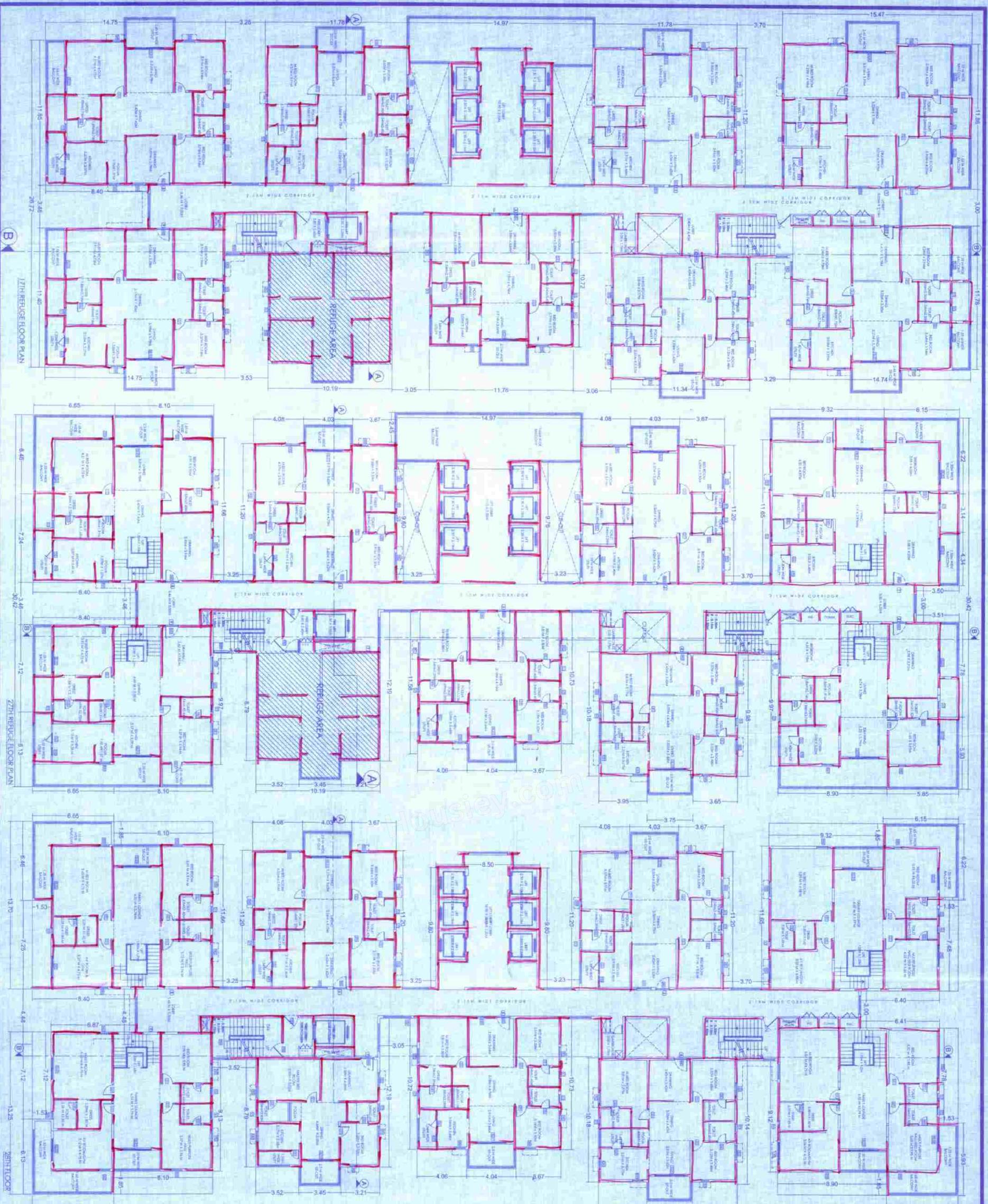
BELONGING TO:
M/S PASURAA TELLAPUR BUILDERS LLP & OTHERS

REPRESENTED BY:
PRASANTR KUMAR PABBATH
S/O LATE PABBATH VENKATA MOHAN RAO

SPECIFICATIONS	
FOOTING	R.C.C
RETAINING WALL COLUMNS, SLAB, BEAMS & STAIRCASE	R.C.C 1:2:4
SUPER STRUCTURE	BRICK IN CEMENT MORTAR 1:6
ALUMINIUM COMPOSITE PANELS	4MM ON ALUM. FRAMING
PLASTERING	SPONGE FINISHING
FLOORING	TILES
DOORS	EXT. ALUM. FR. / GLASS INT. METAL PLAST. WOOD
WINDOWS	GLASS AND ALUMINIUM
VENTILATORS	STEEL
ELECTRICAL AND SANITARY FITTINGS	AS PER STANDARDS
FIRE FIGHTING REQUIREMENTS	AS PER FIRE SAFETY NORMS

REFERENCE	NORTH
PROPOSED:	 N
EXISTING:	
TO BE DISMANTLED:	
SCALE	1:500

OWNER'S SIGN 	BUILDER'S SIGN & REG NO. Pasuraa Tollapur Builders LLP BL No. BL/4259/2023
STRUCTURAL ENGINEER'S KISHORE KUMAR S MCI, LIC No. 34, STRUCTURAL ENGINEER (PROVISIONAL)	ARCHITECT'S SIGN & REG. NO.
SHEET TITLE STILTS FLOORS PLAN scale 1:500	SHEET NUMBER 02 27



REVISIONS:

1. Approved by the client.
2. Approved by the client.
3. Approved by the client.
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APPROVED BY: *[Signature]*
 PROJECT MANAGER: *[Signature]*

<p>PROJECT TITLE: 17TH, 22ND & 28TH FLOOR PLAN</p> <p>SHEET NO: 08/27</p> <p>ARCHITECT'S SIGN & REG. NO.</p> <p>STRUCTURAL ENGINEER'S SIGN & REG. NO.</p> <p>BUILDER'S SIGN & REG. NO.</p>	<p>REFERENCE: NORTH</p> <p>SCALE: 1:100</p> <p>DOORS:</p> <ul style="list-style-type: none"> W1: 1.80 x 1.20 W2: 1.50 x 1.20 W3: 1.20 x 1.20 W4: 1.20 x 1.20 W5: 1.20 x 1.20 W6: 1.20 x 1.20 W7: 1.20 x 1.20 W8: 1.20 x 1.20 W9: 1.20 x 1.20 W10: 1.20 x 1.20 W11: 1.20 x 1.20 W12: 1.20 x 1.20 W13: 1.20 x 1.20 W14: 1.20 x 1.20 W15: 1.20 x 1.20 W16: 1.20 x 1.20 W17: 1.20 x 1.20 W18: 1.20 x 1.20 W19: 1.20 x 1.20 W20: 1.20 x 1.20 W21: 1.20 x 1.20 W22: 1.20 x 1.20 W23: 1.20 x 1.20 W24: 1.20 x 1.20 W25: 1.20 x 1.20 W26: 1.20 x 1.20 W27: 1.20 x 1.20 W28: 1.20 x 1.20 W29: 1.20 x 1.20 W30: 1.20 x 1.20 <p>WINDOWS:</p> <ul style="list-style-type: none"> W1: 1.80 x 1.20 W2: 1.50 x 1.20 W3: 1.20 x 1.20 W4: 1.20 x 1.20 W5: 1.20 x 1.20 W6: 1.20 x 1.20 W7: 1.20 x 1.20 W8: 1.20 x 1.20 W9: 1.20 x 1.20 W10: 1.20 x 1.20 W11: 1.20 x 1.20 W12: 1.20 x 1.20 W13: 1.20 x 1.20 W14: 1.20 x 1.20 W15: 1.20 x 1.20 W16: 1.20 x 1.20 W17: 1.20 x 1.20 W18: 1.20 x 1.20 W19: 1.20 x 1.20 W20: 1.20 x 1.20 W21: 1.20 x 1.20 W22: 1.20 x 1.20 W23: 1.20 x 1.20 W24: 1.20 x 1.20 W25: 1.20 x 1.20 W26: 1.20 x 1.20 W27: 1.20 x 1.20 W28: 1.20 x 1.20 W29: 1.20 x 1.20 W30: 1.20 x 1.20 <p>VENTILATORS:</p> <ul style="list-style-type: none"> V1: 0.80 x 0.80
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PLANNING APPROVAL IS HEREBY GRANTED FOR THE PROPOSED RECREATIONAL BUILDINGS CONSISTING OF 30 UNITS + 30 UPPER FLOORS AND 2 CLUB HOUSES CONSISTING OF GROUND + 2 UPPER FLOORS AND GROUND + UPPER FLOORS, SHOWING THE SURVEY NO. 07 & 136, SITUATED AT COLLIER VILLAGE RAMACHANDRARAM MANDAL, LANGANAPET DISTRICT, TELANGANA STATE.

REPRESENTED BY: **FRAMAGH KUMAR PABBARH**
 5/0 LATE PABBARH VENKATA MOHAN ZAO

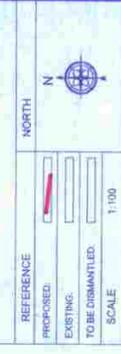
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SPECIFICATIONS	
FOOTING	R.C.C
RETAINING WALL COLUMNS SLAB	R.C.C 1:2:4
SUPER STRUCTURE	BRICK IN CEMENT MORTAR 1:8
ALUMINIUM COMPOSITE PANELS	4MM ON ALUMI TRAMING
PLASTERING	
FLOORING	
DOORS	EXT. ALUM FR / GLASS
WINDOWS	GLASS / ALUMINIUM
VENTILATORS	STEEL
ELECTRICAL AND SANITARY FITTINGS	AS PER STANDARDS
FIRE FIGHTING REQUIREMENTS	AS PER FIRE SAFETY NORMS

DOORS:
 MD 1.13 X 2.10
 D 0.93 X 2.10
 D2 0.78 X 2.10
 SLD 2.40 X 2.10
 SLD1 1.80 X 2.10

WINDOWS:
 W 1.80 X 1.20
 W1 1.50 X 1.20
 W2 1.20 X 1.20
 W3 0.90 X 1.20
 W4 0.60 X 1.20
 W5 0.91 X 0.90

VENTILATORS:
 V : 0.61 X 0.80



REFERENCE:
 PROPOSED: [Signature]
 EXISTING: [Signature]
 TO BE DISMANTLED: [Signature]
 SCALE: 1:100

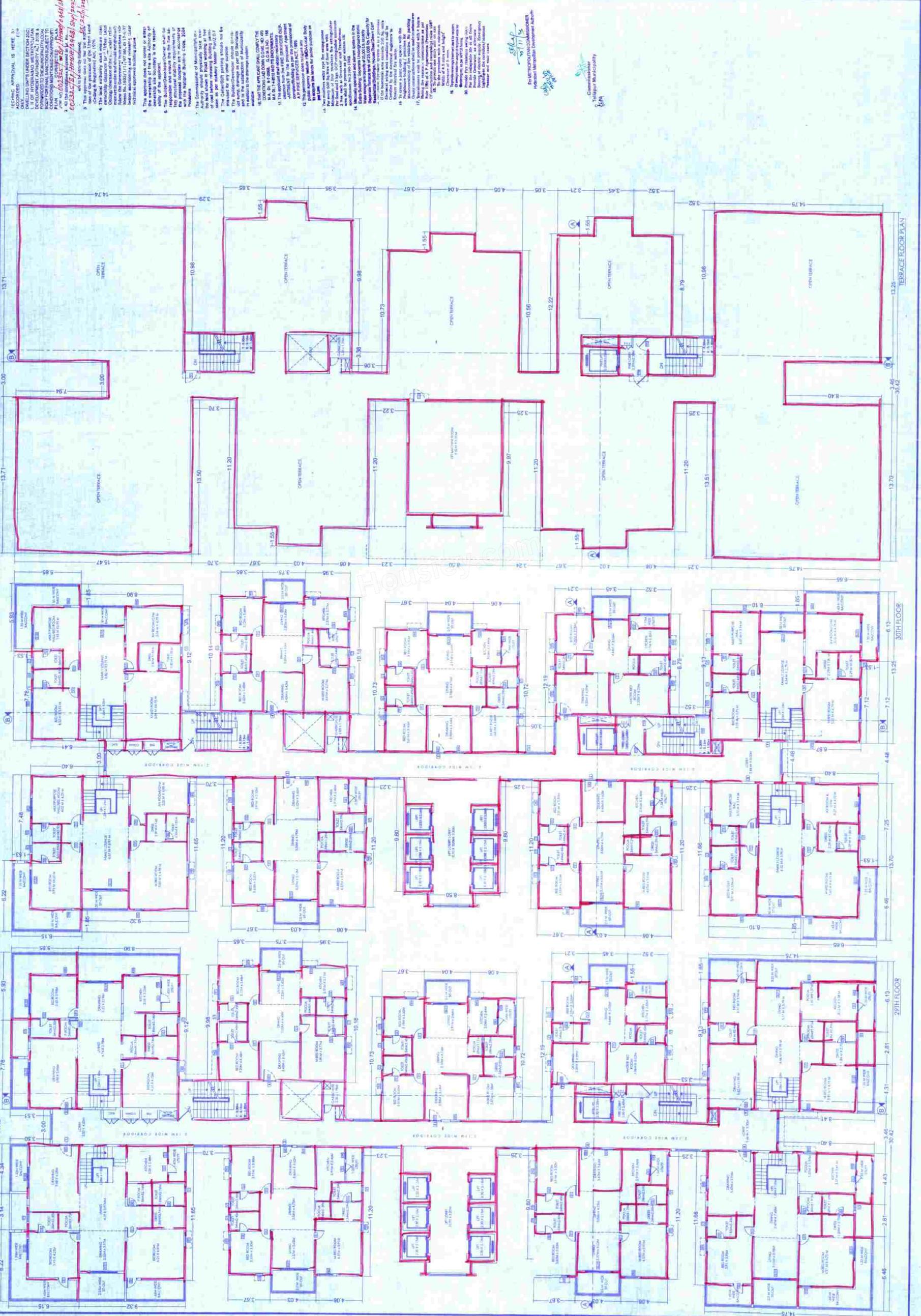
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 P. P. RAJESH BUILDING LLP
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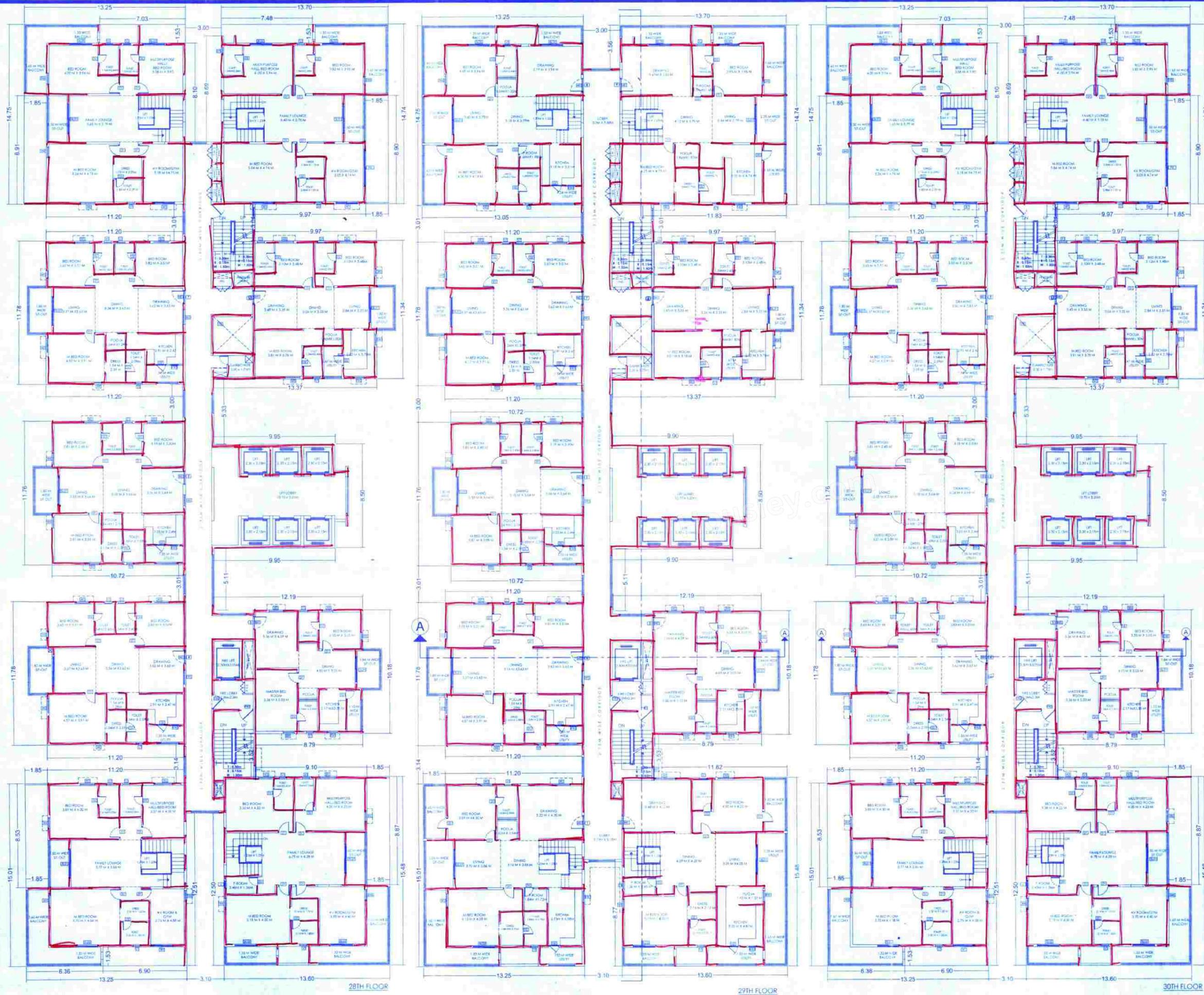
STRUCTURAL ENGINEER'S SIGN & REG NO.
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 CIVIL ENGINEER (REGISTERED)

ARCHITECT'S SIGN & REG NO.
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 ARCHITECT (REGISTERED)

SHEET TITLE:
 TYPE: (A-G & H)
 (29th, 30th & TERRACE FLOORS PLAN)

SHEET NO.:
 09
 27





REVISIONS: 15.000 ACCORDED ONLY.

1. DWELLING UNITS UNDER SECTION 170, 171, 172 OF HYDERABAD METROPOLITAN DEVELOPMENT AUTHORITY ACT 1976 AS FORWARDED TO THE MUNICIPALITY. A BODY FOR FINAL SANCTION SUBJECT TO CONDITIONS MENTIONED ON APPR. P. CORRECTED.

2. 13.02.2023/SP/15000/2023/1500/2023 and for reference follow up on 25/11/2023.

3. This approval does not take into account the provisions of the Urban Land Ceiling & Regulation Act, 1974.

4. The local authority shall ensure that the ownership clearance letter, 'No Objection Certificate' and 'Final Sanction' are in order and should accompany the Government instructions like Memo No. 1333/11/1977 M.A. dt 18-06-97 before sanctioning and releasing their technical approved building plan.

5. The approval does not constitute the ownership of the site boundary is the responsibility of the applicant.

6. The Builder/Developer/Owner shall be responsible and ensure the five-way structural stability requirements of the proposed complex are in accordance with the National Building Code, 2016. Implications:

7. The Commissioner of Municipal Corporation should physically take over the land shown in Road widening at the site of work before releasing Building permission as per statutory Master Plan/DP/2.

8. The Cellular parking should not be provided for any other purpose.

9. The Builder/Developer should comply with the standards as per IS Standards and to the satisfaction of Municipality in addition to the drainage system available.

10. THAT THE APPLICANT SHALL COMPLY THE CONDITIONS LAD DOWN UNDER MD. 408 M.A. CL 8-7-2005, O.G.M.B.No. 156 M.A. CL 7-2005 AND/OR ANY OTHER M.A. CL. 7-2005 AND/OR ANY OTHER M.A. CL. 7-2005.

11. The applicant shall observe the 'ARTMENT' for the proposed Apartment building as per the provisions of A.P. FIRE SERVICES ACT, 1996.

12. This permission does not entitle any public agency to acquire the land for public purpose as per law.

13. Two numbers water supply connections for every 600 Sq.Mtrs of floor area with minimum of four square feet area (approximately 0.75 sq.m) and 8 kg. DCP (polymer) minimum 2 Nos. each of Diameter and Transformer are shall be provided as per IS 1585 specification (as per IS 1585).

14. Manual operated and alarm system in the entire building. Separate fire extinguisher shall be provided in every room. Separate fire extinguisher shall be provided in every room. Separate fire extinguisher shall be provided in every room. Separate fire extinguisher shall be provided in every room.

15. The building shall be provided with fire alarm system. The fire alarm system shall be provided with fire alarm system. The fire alarm system shall be provided with fire alarm system. The fire alarm system shall be provided with fire alarm system.

16. To create a joint open space with the neighboring building / premises for the purpose of fire escape. The fire escape shall be provided with fire escape. The fire escape shall be provided with fire escape. The fire escape shall be provided with fire escape.

17. The building shall be provided with fire escape. The fire escape shall be provided with fire escape. The fire escape shall be provided with fire escape. The fire escape shall be provided with fire escape.

18. To provide fire escape with fire escape. The fire escape shall be provided with fire escape. The fire escape shall be provided with fire escape. The fire escape shall be provided with fire escape.

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20. Provide fire escape with fire escape. The fire escape shall be provided with fire escape. The fire escape shall be provided with fire escape. The fire escape shall be provided with fire escape.

PLAN SHOWING PROPOSED RESIDENTIAL BUILDINGS CONSISTING OF GROUND + 2 UPPER FLOORS AND 30 UPPER FLOORS AND 2 CLUB HOUSES CONSISTING GROUND + 2 UPPER FLOORS AND GROUND + 3 UPPER FLOORS. SHOWING THE SURVEY NO. 137 & 138, SITUATED AT KOLLUR VILLAGE, RAMACHANDRAPURAM MANDAL, SANGAREDDY DISTRICT, TELANGANA STATE.

BE LONGING TO: M/S PASURAA TELAPUR BUILDERS LLP & OTHERS

REPRESENTED BY: PRASANTH KUMAR PABBATHI S/G LATE PABBATHI VENKATA MOHAN RAO

SPECIFICATIONS	
FOOTING	R.C.C
RETAINING WALL COLUMNS, SLAB, BEAMS & STAIRCASE	R.C.C 1:2:4
SUPER STRUCTURE	BRICK IN CEMENT MORTAR 1:6
ALUMINIUM COMPOSITE PANELS	4MM ON ALUM FRAMING
PLASTERING	SPONGE FINISHING
FLOORING	TILES
DOORS	EXT. ALUM FR / GLASS INT. METAL M.T. WOOD
WINDOWS	GLASS AND ALUMINUM
VENTILATORS	STEEL
ELECTRICAL AND SANITARY FITTINGS	AS PER STANDARDS
FIRE FIGHTING REQUIREMENTS	AS PER FIRE SAFETY NORMS

DOORS:		WINDOWS:	
MD	1.13 X 2.10	W	1.80 X 1.20
D	0.93 X 2.10	W1	1.50 X 1.20
D2	0.78 X 2.10	W2	1.20 X 1.20
SLD	2.40 X 2.10	W3	0.80 X 1.20
SLD1	1.80 X 2.10	W4	0.60 X 1.20
		KW1	0.91 X 0.90

REFERENCE		NORTH	
PROPOSED			
EXISTING			
TO BE DISMANTLED			
SCALE		1:100	

FOR METROPOLITAN COMMISSIONER Hyderabad Metropolitan Development Authority

Commissioner's Office Tollypur Municipality

25/11/2023

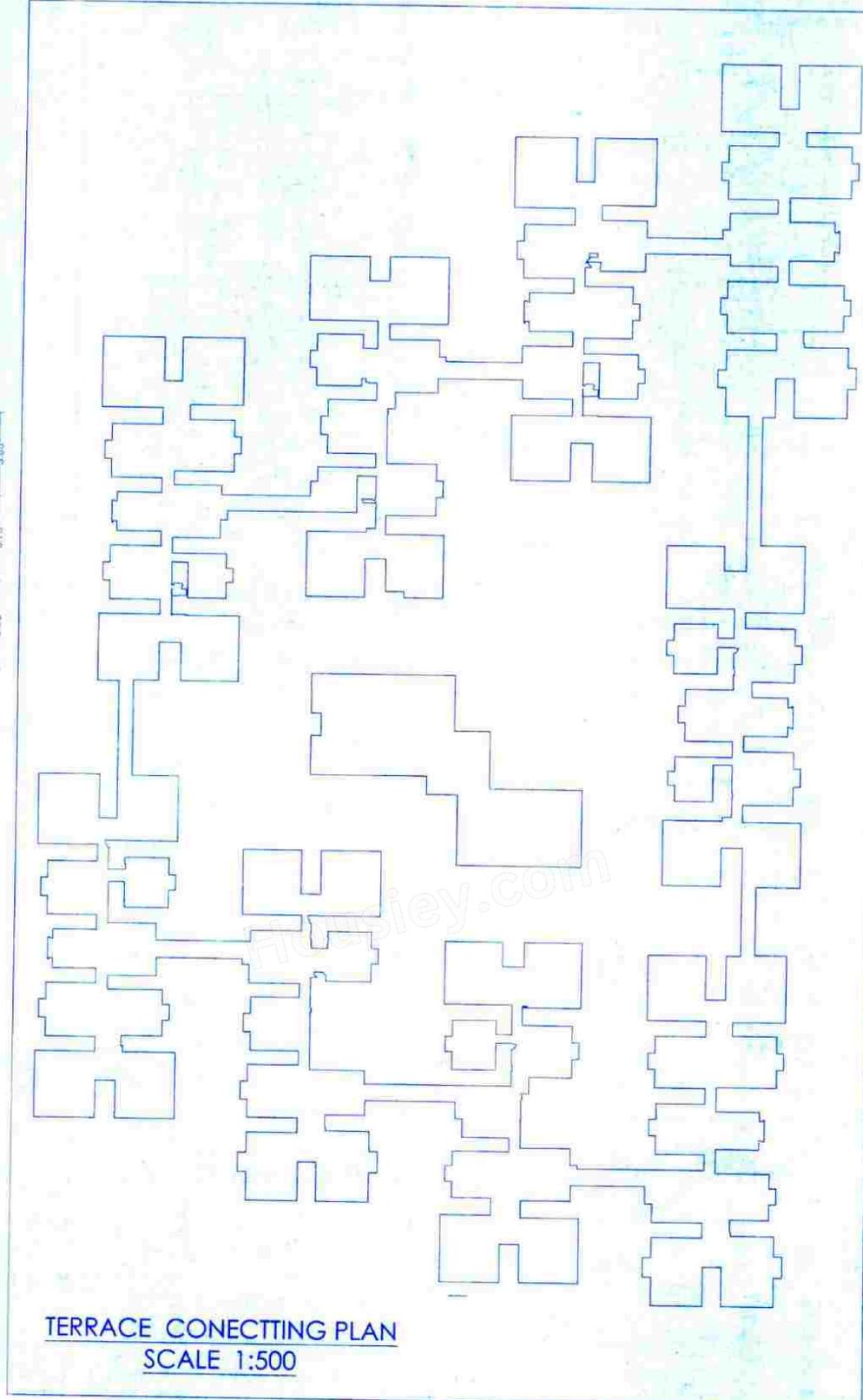
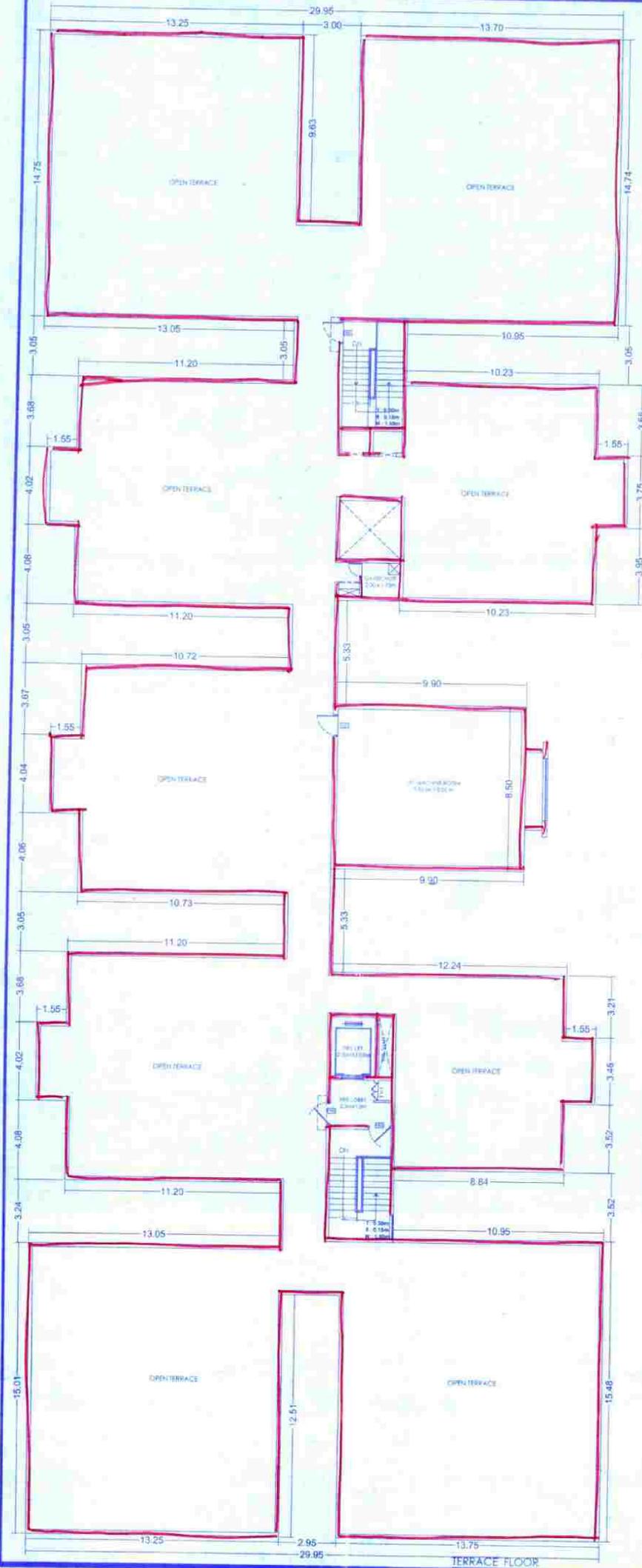
BUILDER'S SIGN & REG. NO.

For Pasuram Builders LLP
BL.No - 01/4259/2023

STRUCTURAL ENGINEER'S SIGN & REG. NO.

Kankarwanah, B
MCH, LIC No. 24,
STRUCTURAL ENGINEER (DOMESTIC)

ARCHITECT'S SIGN & REG. NO.



TERRACE CONNECTING PLAN
SCALE 1:500

TECHNICAL APPROVAL TO BE ACCORDED ONLY
DWELLING UNITS UNDER SECTION 22
1. II OF HYDERABAD METRO POLITY & DEVELOPMENT AUTHORITY ACT, 2005 & FORWARDED TO THE MUNICIPALITY LOCAL BODY FOR FINAL SANCTION SUBJECT TO CONDITIONS MENTIONED ON APPROVALS
PLAN NO. 002325/SP/11/11/97/MA/18-4/2023
DATE: 25/11/2023

- This approval is given in accordance with the provisions of the Urban Land (Ceiling & Regulation) Act, 1974.
- The local authority shall ensure that ownership clearance letter from Local Ceiling/ clearance of the site under refer mode is in order and should be submitted below the Government instructions vide Memo No.1933/11/11/97 MA/18-4/ before working and releasing the technical approval building plan.
- This approval does not constitute the ownership of the site Authority or pertaining site boundary is the responsibility of the applicant.
- The Builder/Developer/Owner shall be responsible and ensure the fire safety structural stability requirements of the proposed complex are in accordance with the National Building Code, 2017.
- The Commissioner or authorized Authority should physically take over the land shown in Road widening at the time of car before releasing Building permission as per statutory Master Plan/D F.
- The Carriageway parking should not be mis-used for any other purpose.
- The Builder/Developer should conduct survey, drainage as per ISI Standard and to the satisfaction of Municipal Engineer in addition to the drainage system.
10. THAT THE APPLICANT SHALL COMPLY WITH THE CONDITIONS LAD DOWN G.O.M.S. NO. 48 M.A. Dt. 07-2008, G.O.M.S. NO. 16 M.A. Dt. 24-09-2010 and its subsequent amendments.
11. The applicant shall obtain necessary clearance from the FIRE SERVICES DEPARTMENT for the proposed Apartment Building as per the provisions of A.P. FIRE SERVICES ACT, 1999.
12. This permission does not give any public safety because METRO Local Body to acquire the lands for public use.
13. The minimum water supply shall be: Per every 600 Sq.Mts of floor area: Minimum of four numbers fire extinguisher for floor and 5 kg CO2 extinguisher minimum 2 Nos. each as Generator and Transformer area shall be provided as per latest ISI specifications No.2100-1992.
14. Manually operated and automatic system in the Entire Building. Separate Underground tanks also storage capacity of 25,000 lit. capacity for Structural Buildings. House to be Green Com.
15. The applicant shall ensure that the electrical wiring and installation shall be carried by the electrical engineer to ensure structural fire safety.
16. To provide one road, with width 4.5 m and height 4.5 m and length 4.5 m.
17. To provide one road, with width 4.5 m and height 4.5 m.
18. To provide one road, with width 4.5 m and height 4.5 m.
19. To provide one road, with width 4.5 m and height 4.5 m.
20. Provide fire protection using SSI for the collapse life in all store provide protection in alternate form of water, smoke, fire extinguisher lighting in the common area.

For METROPOLITAN COMMISSIONER
Hyderabad Metropolitan Development Authority

PLAN SHOWING PROPOSED RESIDENTIAL BUILDINGS CONSISTING OF 3BASEMENTS + STILT + 3D UPPER FLOORS AND 2 CLUB HOUSES CONSISTING OF GROUND + 2 UPPER FLOORS AND GROUND + 3 UPPER FLOORS. SHOWING THE SURVEY NO.137 B & 138, SITUATED AT KOLLUR VILLAGE, RAMACHANDRAPURAM MANDAL, SANGAREDDY DISTRICT, TELANGANA STATE

BELONGING TO:
M/RS PASURAA TELLAPUR BUILDERS LLP & OTHERS
REPRESENTED BY:
PRASANTH KUMAR PABBATHI
5/6 LATE PABBATHI VENKATA MOHAN RAO

SPECIFICATIONS	
FOOTING	R.C.C
RETAINING WALL, COLUMNS, SLAB, BEAMS & STAIRCASE	R.C.C 1:2:4
SUPER STRUCTURE	BRICK IN CEMENT MORTAR 1:6
ALUMINIUM COMPOSITE PANELS	4MM ON ALUM. FRAMING
PLASTERING	SPONGE FINISHING
FLOORING	TILES
DOORS	EXT. ALUM. FR. / GLASS INT. METAL FILM / WOOD
WINDOWS	GLASS AND ALUMINIUM
VENTILATORS	STEEL
ELECTRICAL AND SANITARY FITTINGS	AS PER STANDARDS
FIRE FIGHTING REQUIREMENTS	AS PER FIRE SAFETY NORMS

OPENINGS	
DOORS:	WINDOWS:
MD - 1.10 X 2.10	W - 1.80 X 1.20
D - 0.90 X 2.10	W1 - 1.50 X 1.20
D2 - 0.78 X 2.10	W2 - 1.20 X 1.20
SLD - 2.40 X 2.10	W3 - 0.90 X 1.20
SLD1 - 1.80 X 2.10	W4 - 0.60 X 1.20
	KW1 - 0.91 X 0.90
	VENTILATORS:
	V - 0.61 X 0.66

REFERENCE	NORTH
PROPOSED:	
EXISTING:	
TO BE DIRMANTLED:	
SCALE: 1:100	

BUILDER'S SIGN & REG. NO.

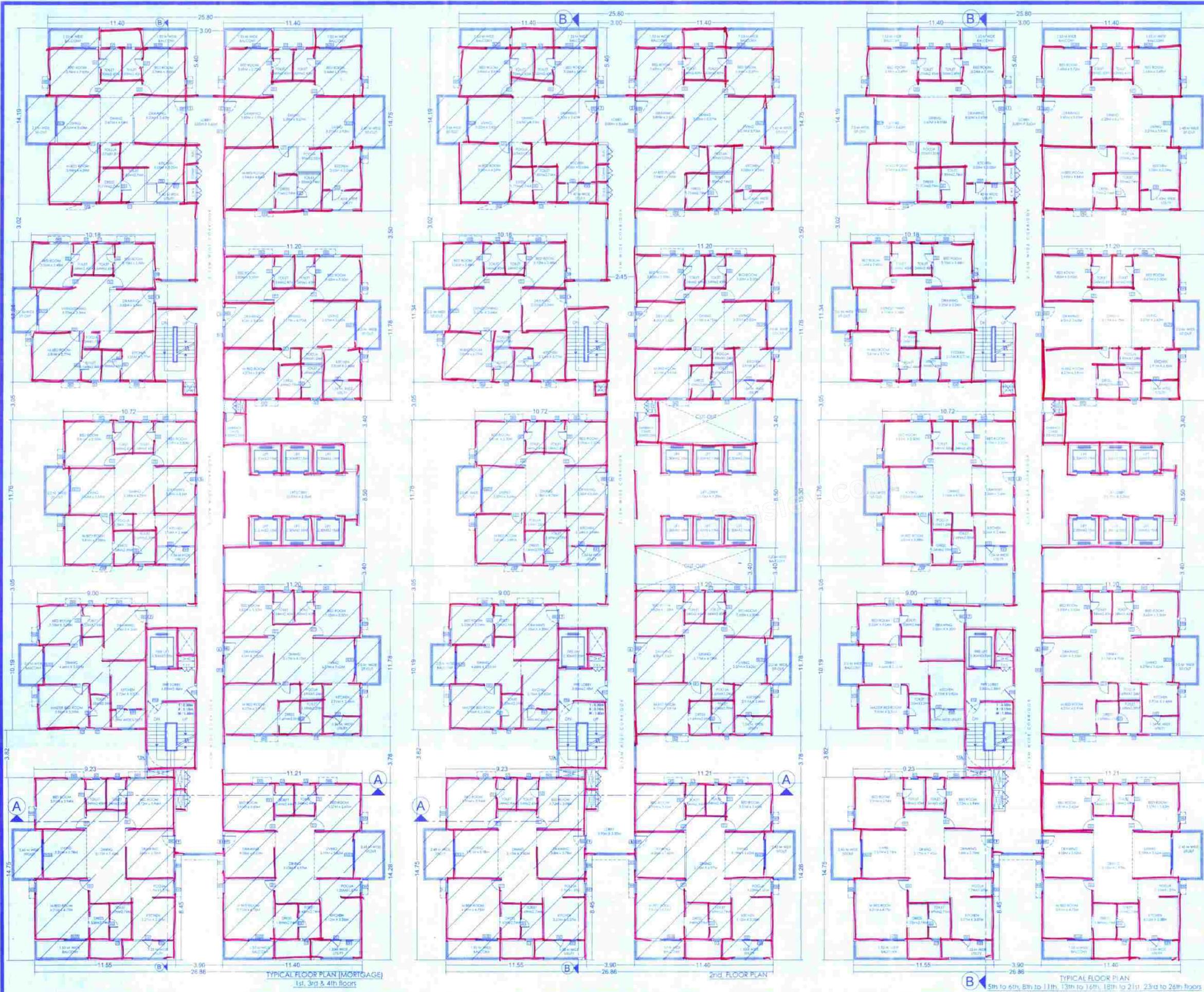
 For Anvika BuildPro LLP
 DL No.: 01/11/97/3121

STRUCTURAL ENGINEER'S SIGN & REG. NO.

 PRASANTH S. MURTHY
 STRUCTURAL ENGINEER/PROFESSIONAL

ARCHITECT'S SIGN & REG. NO.

 PRASANTH S. MURTHY
 ARCHITECT/PROFESSIONAL



TECHNICAL APPROVAL IS HERE BY ACCORDED ONLY.
 DWELLING UNITS UNDER SECTION 207(1) OF HYDERABAD METROPOLITAN DEVELOPMENT AUTHORITY ACT 2008 & FORWARDED TO THE METROPOLITAN BODY FOR FINAL SANCTION SUBJECT TO CONDITIONS MENTIONED ON APPROVAL PLAN NO. 0022257/87/12/2023/04/65/54/1/2023
 2. All the conditions laid down in Lr. No. 0022257/87/12/2023/04/65/54/1/2023 dt: 25/11/2023

- The approval is valid for the application of the provision of the Urban Land Ceiling & Regulation Act, 1976.
- The local authority shall ensure that the ownership clearance from Urban Land Ceiling Commission of the applicant/relator is in order and strictly scrupulously follow the Government instructions vide Memo No. 1033/1/12/97/M.A. dt: 18-09-97 before waiving and releasing these technical approved building plans.
- The approval does not confer on the ownership of the site Authority or the responsibility of the applicant.
- The Builder/Developer/Owner shall be responsible and ensure that the fire safety structural stability requirements of the proposed complex are in accordance with the National Building Code, 2008 provisions.
- The Commissioner of Municipal Corporation should physically take over the site shown in Road widening at time of completion of the building permission as per statutory Plan/D P F.
- The Builder/Developer shall provide cut dump drainage as per ISI Standards and to the satisfaction of the local body in addition to the drainage network.
- THE APPLICANT SHALL COMPLY THE CONDITIONS Laid Down in G.O.M.S. NO. 170 M.A. Dt. 9-7-2008, G.O.M.S. NO. 180 M.A. Dt. 7-4-2011 AND ITS ENDORSEMENTS.
- The applicant shall obtain necessary clearance from the FIRE SERVICES DEPARTMENT for the proposed Apartment/Building as per the provisions of A.P. FIRE SERVICES ACT, 1999.
- The permission does not grant any public space or easement. Local Body to acquire the lands for public purpose as per Law.
- Two meters water supply (100% coverage) for every 100 sq. m. of floor area with minimum of 100 litres per person per day. Per Road and 5 km. DCP rectangular minimum 3 Nos. each at General use. Maximum area shall be provided as per latest IS specifications No. 2199-1995.
- Minimum covered and unarm system in the Edge Building. Separate Underground Water supply with capacity of 20,000 litres. Separate Tank with capacity of 20,000 litres. Capacity for Residential Buildings. House Fire Down Com.
- Automatic fire alarm system as a provision if the basement area exceeds 200 sq. metre. Electrical wiring and installation shall be certified by the electrical engineer to ensure electrical fire safety.
- To create a joint open space with the Neighbouring building / premises for maneuverability of fire vehicles. No parking or any construction shall be made in such area.
- Transference shall be provided with 4 hours Rating fire resistant construction as per Rule 180 of A.P. Apartment (Provision) (of construction and occupancy) rules 1987.
- To provide an entry and an exit of width of 4.5 metre and height clearance of 5 metre.
- To provide emergency plan to register change only for unapproved use. Building to be as per APJCR Norms.
- Provide Fire resistance rating 0021 for the collapse BS in all cases. Provide Generator, as alternate source of electric supply. Storeage of inflammable the corridor/common lobby and stair case.

Signature of Commissioner
 Commissioner
 Telangana Municipality

PLAN SHOWING PROPOSED RESIDENTIAL BUILDINGS CONSISTING OF BASEMENTS + STILT + 30 UPPER FLOORS AND 2 CLUB HOUSES CONSISTING GROUND + 2 UPPER FLOORS AND GROUND + 3 UPPER FLOORS. SHOWING THE SURVEY NO. 137 & 138, SITUATED AT KOLLUP VILLAGE, RAMACHANDRAPURAM MANDAL, SANGAREDDY DISTRICT, TELANGANA STATE.

BELONGING TO:
 M/S: RS PAVURAI TELLAPUR BUILDERS LLP & OTHERS

REPRESENTED BY:
 PRASANTH KUMAR PABBAHAI
 S/O: LATE PABBAHAI VENKATA MOHAN RAO

SPECIFICATIONS	
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PLASTERING	SPONGE FINISHING
FLOORING	TILES
DOORS	EXT. ALUM FR / GLASS RT. METAL FR. M.T. WOOD
WINDOWS	GLASS AND ALUMINIUM
VENTILATORS	STEEL
ELECTRICAL AND SANITARY FITTINGS	AS PER STANDARDS
FIRE FIGHTING REQUIREMENTS	AS PER FIRE SAFETY NORMS

OPENINGS	
DOORS:	
M3: 1.1 x 2.10	W: 1.80 x 1.20
D: 3.93 x 2.10	W1: 1.50 x 1.20
D2: 3.78 x 2.10	W2: 1.20 x 1.20
S/D: 2.40 x 2.10	W3: 0.90 x 1.20
S/D1: 1.80 x 2.10	W4: 0.60 x 1.20
	W5: 0.31 x 0.90
VENTILATORS:	
	V: 0.6 x 0.60

REFERENCE	NORTH
PROPOSED	
EXISTING	
TO BE DISMANTLED	
SCALE	1:100

Signature of Builder
 BUILDER'S SIGN & REG. NO.

Signature of Structural Engineer
 STRUCTURAL ENGINEER'S SIGN & REG. NO.

Signature of Architect
 ARCHITECT'S SIGN & REG. NO.

SHEET TITLE
 TYPE-03
 BLOCKS-(C, E & J)

(1st, to 6th, 8th to 11th, 13th to 16th, 18th to 21st, 23rd to 26th floors.)

SHEET NO.
 18
 27

