

AREA STATEMENT (BEM)

Project Name: **RESIDENTIAL APARTMENT BUILDING (CONVERTING EXISTING OFFICE BUILDING) AT 100, ROBINSON ROAD, SINGAPORE**

Client: **THE STRAITS TIMES BUILDING GROUP**

Architect: **ARCHITECTS**

Scale: **1:100**

Date: **15/01/2024**

Sheet No: **Sheet 2 of 4**

Project No: **100-ROBINSON-RD-RES-2023-001**

Revision: **01**

Author: **ARCHITECTS**

Checker: **ARCHITECTS**

Approver: **ARCHITECTS**

Scale: **1:100**

Date: **15/01/2024**

Project No: **100-ROBINSON-RD-RES-2023-001**

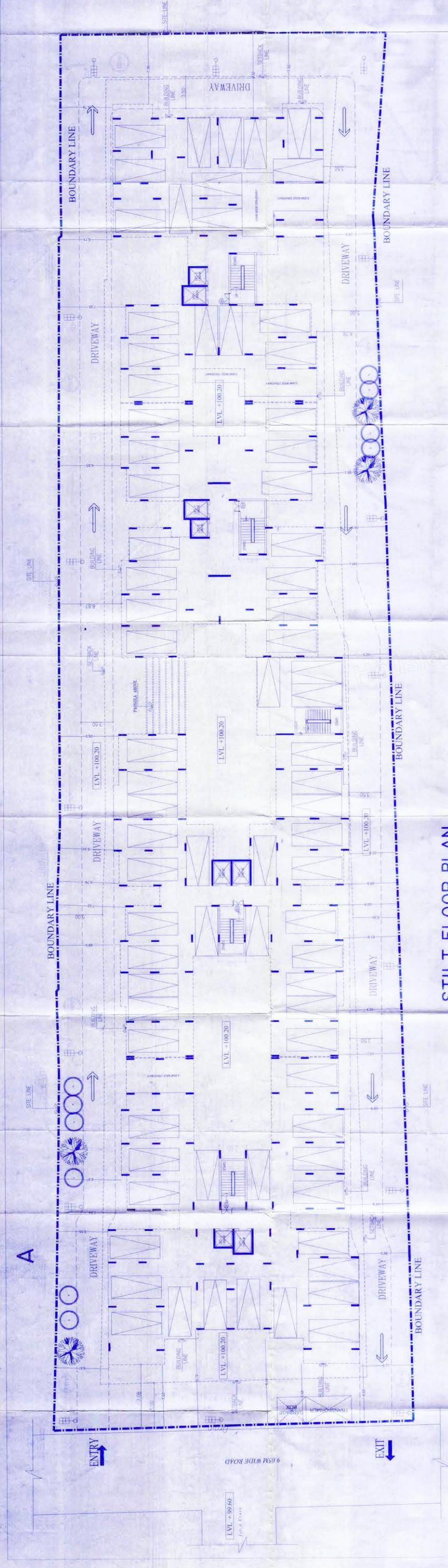
Revision: **01**

Author: **ARCHITECTS**

Checker: **ARCHITECTS**

Approver: **ARCHITECTS**

- REVISIONS:**
- 1) Revision for Site + GP + Three Upper Floors for 64 units (see drawing)
- 2) Site work to improve for rainwater harvesting and to allow for rainwater to be collected into the site tank.
- 3) Develop a rainwater harvesting system to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.
- 4) Necessary lifts for rainwater tanks, cabinets, and piping to be provided for the rainwater harvesting system.
- 5) The rainwater harvesting system shall be designed to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.
- 6) The rainwater harvesting system shall be designed to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.
- 7) The rainwater harvesting system shall be designed to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.
- 8) The rainwater harvesting system shall be designed to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.
- 9) The rainwater harvesting system shall be designed to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.
- 10) The rainwater harvesting system shall be designed to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.
- 11) On completion of foundation or footing before erection of walls or the floor slab and in the presence of the Building Inspector, the Contractor shall submit a Rainwater Harvesting System Certificate to be obtained from the Building Inspector.
- 12) The rainwater harvesting system shall be designed to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.
- 13) The rainwater harvesting system shall be designed to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.
- 14) The rainwater harvesting system shall be designed to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.
- 15) The rainwater harvesting system shall be designed to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.
- 16) The rainwater harvesting system shall be designed to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.
- 17) The rainwater harvesting system shall be designed to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.
- 18) The rainwater harvesting system shall be designed to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.
- 19) The rainwater harvesting system shall be designed to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.
- 20) The rainwater harvesting system shall be designed to collect rainwater from the roof of the building into a site tank. The system shall include a rainwater diverter, first flush device, and a rainwater storage tank. The rainwater shall be used for irrigation and other non-potable uses.



DETAILS OF RAIN WATER HARVESTING STRUCTURES

1. Rainwater diverter: To divert rainwater from the roof into the rainwater storage tank.

2. First flush device: To divert the first flush of rainwater into a separate tank for filtration.

3. Rainwater storage tank: To store rainwater for use in irrigation and other non-potable uses.

4. Rainwater piping: To transport rainwater from the roof to the storage tank and from the storage tank to the point of use.

5. Rainwater diverter: To divert rainwater from the roof into the rainwater storage tank.

6. First flush device: To divert the first flush of rainwater into a separate tank for filtration.

7. Rainwater storage tank: To store rainwater for use in irrigation and other non-potable uses.

8. Rainwater piping: To transport rainwater from the roof to the storage tank and from the storage tank to the point of use.

9. Rainwater diverter: To divert rainwater from the roof into the rainwater storage tank.

10. First flush device: To divert the first flush of rainwater into a separate tank for filtration.

11. Rainwater storage tank: To store rainwater for use in irrigation and other non-potable uses.

12. Rainwater piping: To transport rainwater from the roof to the storage tank and from the storage tank to the point of use.

SCHEDULE OF WORKS

Item No.	Description	Quantity	Unit	Rate	Total
1	Excavation and backfilling	100	m ³	100	10000
2	Foundation work	200	m ²	50	10000
3	Structural steelwork	500	kg	20	10000
4	Concrete casting	1000	m ³	100	100000
5	Formwork	1000	m ²	100	100000
6	Roofing	1000	m ²	100	100000
7	Painting	1000	m ²	100	100000
8	Electrical work	1000	m	100	100000
9	Plumbing work	1000	m	100	100000
10	Landscaping	1000	m ²	100	100000
11	Site works	1000	m ²	100	100000
12	Final works	1000	m ²	100	100000
13	Handover	1000	m ²	100	100000
14	Contingency	1000	m ²	100	100000
15	Professional fees	1000	m ²	100	100000
16	Other works	1000	m ²	100	100000
17	Subtotal				1000000
18	Grand Total				1000000

DECLARATION (BMP)

PROJECT NAME: **Greenfield Residential Project**

APPLICANT: **Greenfield Residential Pvt. Ltd.**

PROJECT ADDRESS: **Greenfield Residential, Sector 10, Gurgaon, Haryana**

PROJECT NO.: **10/2015/1000**

DATE: **10/10/2015**

PROJECT TYPE: **Residential**

PROJECT AREA: **10000 sq. m.**

PROJECT VALUE: **10000000000**

PROJECT STATUS: **Approved**

PROJECT OFFICER: **Mr. Anil Kumar**

PROJECT OFFICER DESIGNATION: **Project Officer**

PROJECT OFFICER ADDRESS: **Greenfield Residential, Sector 10, Gurgaon, Haryana**

PROJECT OFFICER CONTACT NO.: **9876543210**

PROJECT OFFICER EMAIL ID: **anil.kumar@greenfieldresidential.com**

PROJECT OFFICER SIGNATURE: *[Signature]*

PROJECT OFFICER DESIGNATION: **Project Officer**

PROJECT OFFICER ADDRESS: **Greenfield Residential, Sector 10, Gurgaon, Haryana**

PROJECT OFFICER CONTACT NO.: **9876543210**

PROJECT OFFICER EMAIL ID: **anil.kumar@greenfieldresidential.com**

NOTE:

- Sanction is for 04 + 02 + Three Upper Floors for 04 Dwelling units only.
- Site plan is reserved for parking purpose only and shall be made to allow the rain water flowing into the site.
- Development charge towards increasing the capacity of water supply and sewerage mains has to be paid to the BWSB & BSCWM if any.
- Necessary ducts for running telephon cables, cables at ground level for postal services & other services shall be provided.
- The applicant shall provide & maintain a separate water supply for the construction workers and the same shall be demarcated after the construction.
- The Applicant shall ensure that the construction work against any accident or incident arising during the time of the construction.
- The applicant shall not stock any building materials on the site or on the roads.
- The applicant is prohibited from selling the set back areas, open spaces and the common facility areas to any other person or entity. The set back areas shall be accessible to all the tenants and occupants.
- The applicant shall plant at least one tree in the premises and the permission must be obtained from the forest department for cutting trees.
- The Applicant shall provide at least one toilet in the ground floor for the use of the visitors / drivers / employees. The toilet shall be provided in the building. Connected after ensuring the same is provided in the building.
- On completion of foundation or footing before erection of walls on the foundation and in the case of column construction the existing ground level shall be marked and the same shall be maintained.
- Section is subject to condition that the applicant shall provide a separate place for the storage of garbage and the same shall be removed off by the waste management/developers.
- The registered Architect/Engineer/Interior Designer shall adhere to the norms and number of rooms and the same shall be maintained and automatically stands unaltered to be maintained.
- Electricity shall be designed to take up the entire load of the proposed building.
- The building shall be constructed in accordance with the requirements of the bye-laws of the Corporation.
- The applicant shall provide water meters as per the bye-laws of the Corporation.
- Employment of child labour in the above work is strictly prohibited.
- BMP will not be responsible for any dispute that may arise in respect of property in question.
- In case of the documents submitted in respect of property in question found to be false or incorrect, the plan sanctioning is cancelled automatically and the plan shall be treated as void.
- The building should not be occupied without obtaining the completion certificate from the competent authority.

AREA DETAILS

Sl. No.	Description	Area (sq. m.)
1	Area of Plot (Minimum)	10000.00
2	Area of Plot (Actual)	10000.00
3	Area of Plot (Net Available for Construction)	10000.00
4	Area of Plot (Net Available for Construction)	10000.00
5	Area of Plot (Net Available for Construction)	10000.00
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PROJECT DESCRIPTION

Greenfield Residential Project, Sector 10, Gurgaon, Haryana.

Project Area: 10000 sq. m.

Project Value: 10000000000.

Project Status: Approved.

Project Officer: Mr. Anil Kumar.

Project Officer Designation: Project Officer.

Project Officer Address: Greenfield Residential, Sector 10, Gurgaon, Haryana.

Project Officer Contact No.: 9876543210.

Project Officer Email ID: anil.kumar@greenfieldresidential.com.

PLANNED DETAILS

Sl. No.	Description	Area (sq. m.)
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DETAILS OF RAIN WATER HARVESTING STRUCTURES

Greenfield Residential Project, Sector 10, Gurgaon, Haryana.

Project Area: 10000 sq. m.

Project Value: 10000000000.

Project Status: Approved.

Project Officer: Mr. Anil Kumar.

Project Officer Designation: Project Officer.

Project Officer Address: Greenfield Residential, Sector 10, Gurgaon, Haryana.

Project Officer Contact No.: 9876543210.

Project Officer Email ID: anil.kumar@greenfieldresidential.com.

SCHEDULE OF JOINTS

Sl. No.	Description	Area (sq. m.)
1	Area of Plot (Minimum)	10000.00
2	Area of Plot (Actual)	10000.00
3	Area of Plot (Net Available for Construction)	10000.00
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